

### LEGEND

625.0(TC)	DENOTES EXISTING "TOP OF CURB" GRADE		DENOTES EXISTING UTILITY POLE
625.0(BC)	DENOTES EXISTING "BOTTOM OF CURB" GRADE		DENOTES EXISTING CONCRETE SURFACE
625.0(DC)	DENOTES EXISTING "DROP CURB" GRADE	EM	DENOTES PROPOSED ELECTRIC METERS
625.0(BW)	DENOTES EXISTING "BOTTOM OF WALL" GRADE		DENOTES PROPOSED CONCRETE SURFACE
625.0(TW)	DENOTES EXISTING "TOP OF WALL" GRADE	GM	DENOTES PROPOSED GAS METER
WV	DENOTES EXISTING WATER VALVE		DENOTES EXISTING STONE WALL
GV	DENOTES EXISTING GAS VALVE		DENOTES PROPOSED STONE
WMH	DENOTES EXISTING WATER MANHOLE	GM	DENOTES PROPOSED EXISTING GAS MAIN
TMH	DENOTES EXISTING TELEPHONE MANHOLE	PGS	DENOTES PROPOSED GAS SERVICE
SMH	DENOTES EXISTING SANITARY MANHOLE		DENOTES EXISTING OVERHEAD WIRES
DMH	DENOTES EXISTING DRAINAGE MANHOLE	PE	DENOTES PROPOSED UNDERGROUND ELECTRIC SERVICE
LP	DENOTES EXISTING LIGHT POLE	#WS	DENOTES #(SIZE)" DOMESTIC WATER SERVICE
CB	DENOTES EXISTING CATCH BASIN	#FS	DENOTES #(SIZE)" FIRE SERVICE LINE
+217.6	DENOTES EXISTING SPOT GRADE	#F&WS	DENOTES #(SIZE)" DOMESTIC & FIRE SERVICE LINE
+<XXX.XX±>	DENOTES PROPOSED SPOT GRADE	#FS	DENOTES #(SIZE)" FIRE SERVICE LINE
-238	DENOTES EXISTING CONTOUR LINE	CV	DENOTES PROPOSED CURB VALVE
	DENOTES PROPOSED CONTOUR		DENOTES PROPOSED SANITARY SEWER MAIN
	DENOTES EXISTING SANITARY MANHOLE		DENOTES PROPOSED SANITARY MANHOLE
WL	DENOTES EXISTING WETLANDS LIMIT LINE		DENOTES EXISTING WETLANDS LIMIT LINE
CO	DENOTES PROPOSED SEWER LATERAL CLEANOUT		

- ### GENERAL NOTES:
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
  - NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED.
  - GAS, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
  - TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
  - EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION WHERE EXISTING UTILITIES ARE CROSSED BY PROPOSED CONSTRUCTION. TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD BE THE RESULT OF DESIGN ERRORS OR INADEQUATE INVESTIGATION.
  - THESE PLANS DOES NOT DEPICT ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS, NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, HAZARDOUS, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE ENDORSED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
  - THE CONTRACTOR IS RESPONSIBLE ALL FOR SITE SAFETY, INCLUDING OF ALL APPROPRIATE PERSONNEL PROTECTIVE EQUIPMENT REQUIRED, TRAINING AND CERTIFICATIONS AS REQUIRED BY ALL LOCAL, STATE AND FEDERAL AUTHORITIES.
  - NEITHER THE PROFESSIONAL ACTIVITIES OF THE PROJECT DESIGN ENGINEER NOR THE PRESENCE OF THEIR REPRESENTATIVES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE OWNER, GENERAL CONTRACTOR OR SUBCONTRACTORS DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS AND METHODS, SCHEDULES, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DESIGN ENGINEER AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND SAFETY DESIGN ENGINEER SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AS ADDITIONALLY INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
  - IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN WITHOUT FIRST OBTAINING THE WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND LOCAL BUILDING DEPARTMENT AND/OR MUNICIPAL ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
  - ALL AREAS DISTURBED BY ONSITE GRADING SHOULD BE LIMED AND FERTILIZED BEFORE SEEDING.
  - THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER AND AT LEAST EIGHTEEN (18") INCHES IN LENGTH, INSTALLED AFTER FINAL GRADING.
  - SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH VILLAGE OF SOUTH BLOOMING GROVE SPECIFICATIONS, WHERE AND IF REQUIRED.
  - TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED, AS SHOWN TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES OR OTHER SUITABLE MATERIAL. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
  - ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDING WITH 1/2 lb OF RYE GRASS OR MULCHED WITH 100 lbs OF STRAW OR HAY PER 1,000 SQUARE-FOOT. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY INSTALLING THE BASE COURSE.
  - SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE APPROPRIATE MUNICIPAL AUTHORITIES.
  - AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS RE-GRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
  - THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

### BULK TABLE:

ZONE RB -- RESIDENCE B DISTRICT  
PROPOSED USE: 4-UNIT RESIDENTIAL CONDOMINIUMS

MINIMUM	REQUIRED	PROVIDED	COMMENTS
LOT AREA:	10,000 SQUARE-FOOT	13,252.83± SQUARE-FOOT	OK -- NO CHANGE
FRONTAGE	EXISTING FRONTAGE	80.0 FEET	OK -- NO CHANGE
FRONT YARD	40 FEET	40.9± FEET	OK
REAR YARD	40 FEET	46.0± FEET	OK
SIDE YARD (ONE)	15 FEET	15.0+ FEET	OK
SIDE YARD (BOTH)	30 FEET	30.0+ FEET	OK
MAXIMUM	REQUIRED	PROVIDED	COMMENTS
BUILDING COVERAGE	≤ 50%	24.5±%	OK
BUILDING HEIGHT (FEET):	≤ 25 FEET	≤ 25 FEET	OK
BUILDING HEIGHT (STORIES):	≤ 2.5 STORIES	≤ 2.5 STORIES	OK
PARKING:	REQUIRED	PROVIDED	OK
PROPOSED PARKING	2 PER UNIT	4	OK

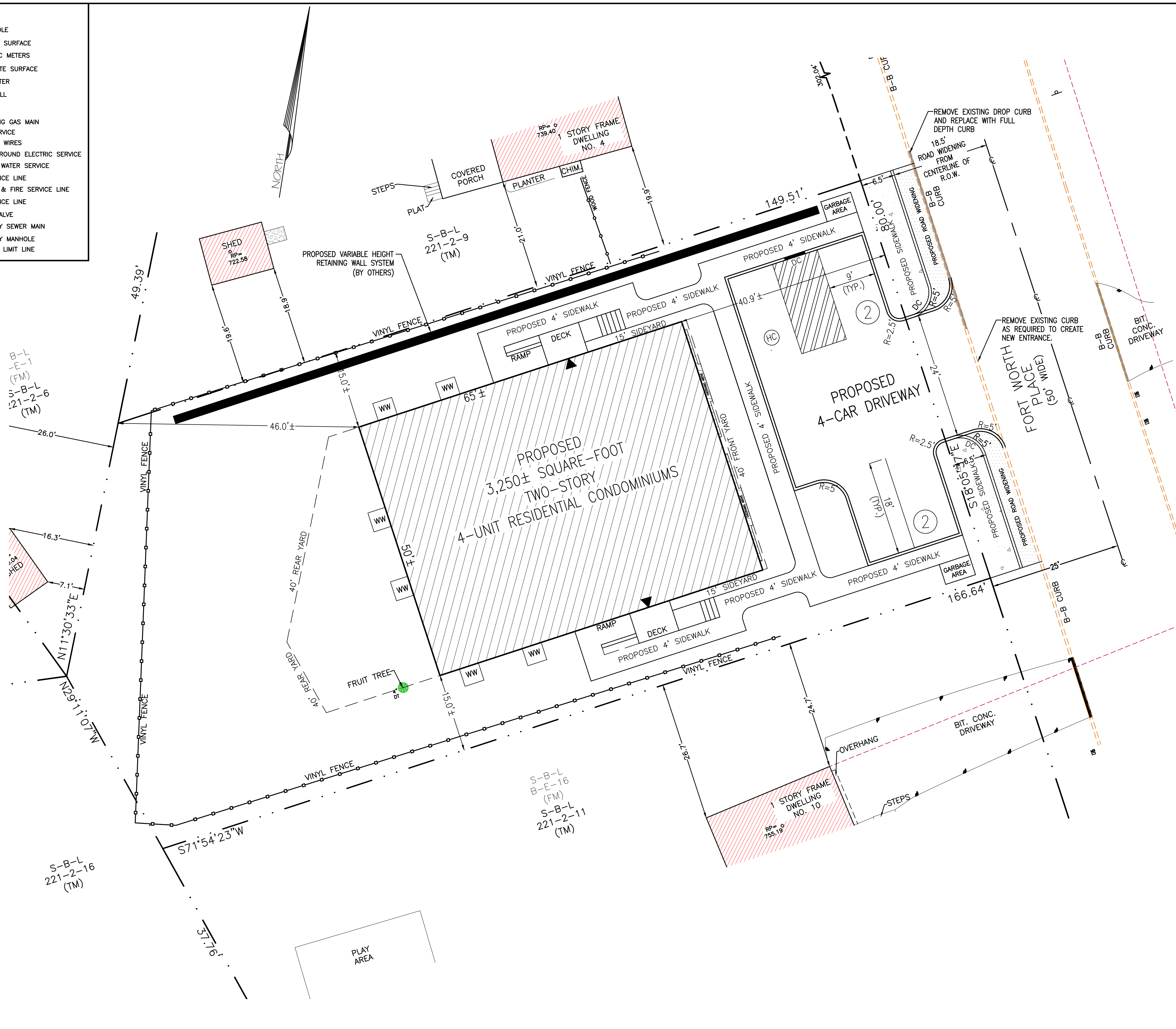
BULK NOTES:  
1. LOTS SERVED BY CENTRAL SEWER AND WATER SYSTEMS  
2. LOT BULK DIMENSIONS BASED ON HOUSE SIZE FROM ARCHITECTURAL PLANS PROVIDED BY OTHERS.

### BOUNDARY AND TOPOGRAPHIC SURVEY REFERENCE:

BOUNDARY AND TOPOGRAPHIC REFERENCE INFORMATION SHOWN TAKEN FROM A MAP ENTITLED "OUTBOUND & TOPOGRAPHIC SURVEY PREPARED FOR 6 FORT WORTH PLACE ~ SECTION 221 ~ BLOCK 2 ~ LOT 10 ~ SITUATED IN THE VILLAGE OF SOUTH BLOOMING GROVE, TOWN OF BLOOMING GROVE, ORANGE COUNTY, NEW YORK," DATED 01-03-2024 PREPARED BY CLEARPOINT SURVEYING, D.P.C.

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### DISTRICTS:

TYPE	NAME	ALARM No.
FIRE DISTRICT:	SOUTH BLOOMING GROVE FIRE DISTRICT	FD039
SCHOOL DISTRICT:	WASHINGTONVILLE	484601
WATER DISTRICT:	CONSOLIDATED WATER DISTRICT CAP	WD051
SEWER DISTRICT:	CONSOLIDATED SEWER DISTRICT #1	SW094
SEWER TREATMENT PLANT:	HARRIMAN TREATMENT PLANT EXP.	SW102
AMBULANCE DISTRICT:	BLOOMING GROVE AMBULANCE	AM002
GARBAGE DISTRICT:	TOWN WIDE REFUSE	RG016

### OWNERS:

FEIGY BRULL  
159 SOUTH 158th  
SUITE 5  
BROOKLYN, NEW YORK 11211

### APPLICANT:

DILIGENT DEVELOPERS NY  
2 STONEGATE DRIVE  
SUITE 221  
MONROE, NEW YORK 10950

Know what's below.

Call before you dig.

SEAL VALID FOR  
MJC JOB# 2501  
SEAL DATE:  
OCTOBER 23, 2025

REVISIONS:

#	DATE	COMMENTS
1	JANUARY 12, 2025	OWNERS COMMENTS
2	OCTOBER 23, 2025	OWNERS COMMENTS

GRAPHIC SCALE  
1 inch = 10 Feet

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED N.Y.S. ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. COPIES OF THIS PLAN NOT HAVING THE EMBOSSED SEAL OF THE N.Y.S. ENGINEER SHALL NOT BE VALID. PLAN PREPARED PURSUANT TO SECTION 7208m OF THE NEW YORK STATE EDUCATION LAW.

MICHAEL J. CALISE, P.E.  
NEW YORK STATE LIC. NO. 074611

### PLOT PLAN

PREPARED FOR:  
TAX LOT  
SECTION 221, BLOCK 2 LOT 10

## 6 FORT WORTH PLACE

VILLAGE OF SOUTH BLOOMING GROVE, TOWN OF BLOOMING GROVE  
ORANGE COUNTY NEW YORK

Michael J. Calise, P.E. & Associates, P.C.  
Civil Engineering & Land Planning Consultants  
Post Office Box 96, Pearl River, New York 10965  
Phone (845) 629-3743

TAX LOT NUMBER:  
221-2-10

TOTAL AREA:  
0.304±  
ACRES

13,252.83±  
SQUARE-FOOT

JOB NUMBER:  
2501

SCALE:  
1"=10'

DATE:  
DECEMBER 23, 2024

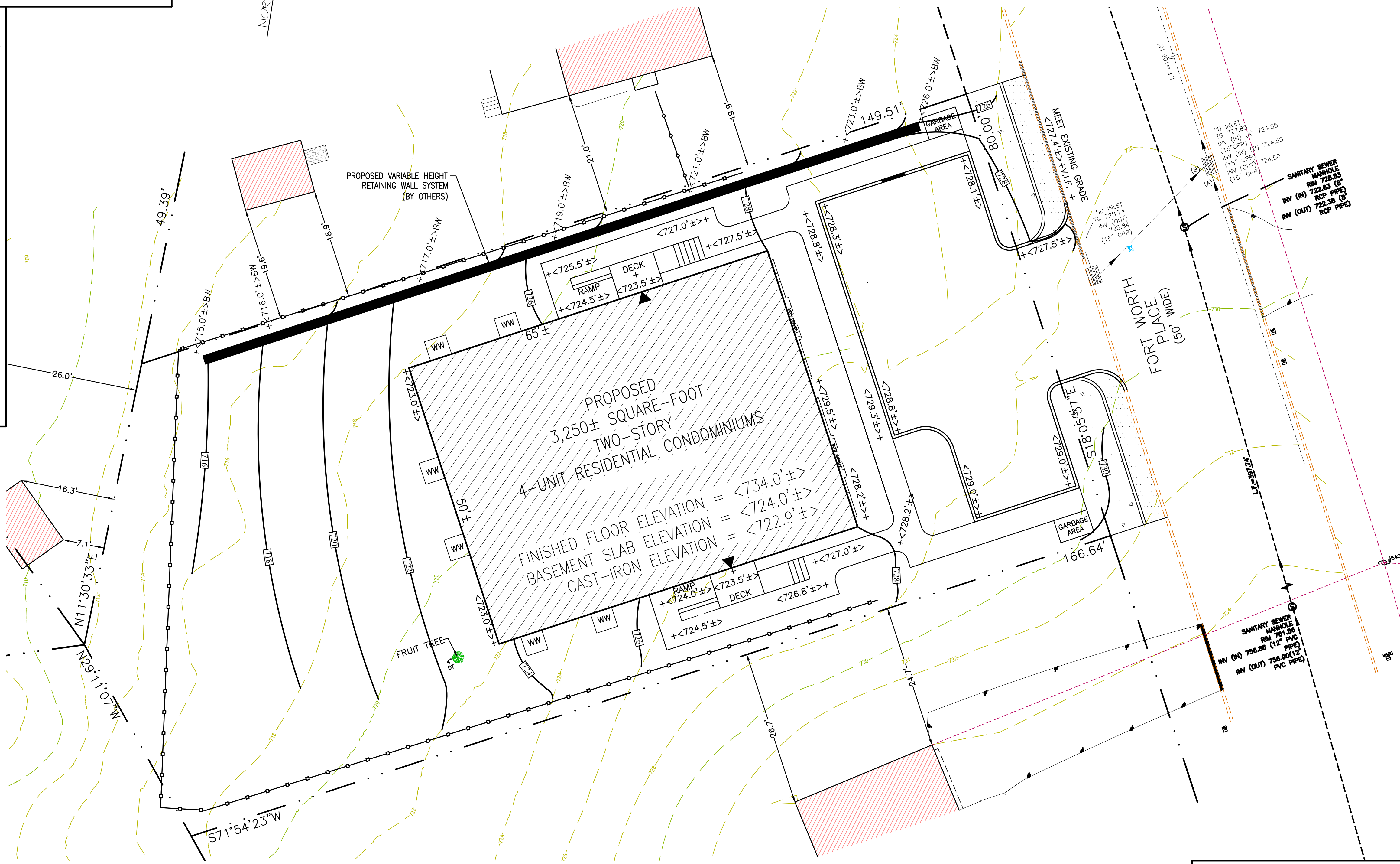
SHEET:  
1 OF 7

**LEGEND**

625.0(TC)	DENOTES EXISTING "TOP OF CURB" GRADE		DENOTES EXISTING UTILITY POLE
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-238-	DENOTES EXISTING CONTOUR LINE		DENOTES PROPOSED CURB VALVE
[ST1]	DENOTES PROPOSED CONTOUR		DENOTES PROPOSED SANITARY SEWER MAIN
⊙	DENOTES EXISTING SANITARY MANHOLE		DENOTES EXISTING WETLANDS LIMIT LINE
WL#	DENOTES EXISTING WETLANDS LIMIT LINE		DENOTES PROPOSED SANITARY MANHOLE
CO	DENOTES PROPOSED SEWER LATERAL CLEANOUT		DENOTES EXISTING WETLANDS LIMIT LINE

**GRADING NOTES:**

- CONTRACTOR SHALL VERIFY LOCATION AND OPERATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES, FEATURES, CONDITIONS, ETC., AND SHALL NOTIFY THE ENGINEER AND APPLICANT, IN WRITING, OF ANY DISCREPANCIES.
- TREE CLEARING TO BE LIMITED TO THAT NECESSARY FOR PROP. CONSTRUCTION AND REQUIRED GRADING.
- PROVIDE EROSION CONTROL SHOWN ON "EROSION CONTROL PLAN".
- DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN THIRTY DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2LB. RYE GRASS OR MULCHED WITH 100LBS. OF STRAW OR HAY PER 1,000 SQ. FT. TEMPORARY DIVERSION DITCHES WILL BE ESTABLISHED WHERE NECESSARY.
- STABILIZE ALL DISTURBED AREAS WITH PERMANENT COVER FOLLOWING CONSTRUCTION. APPLY THE NECESSARY LIME, FERTILIZER, SEED AND MULCH.
- TEMPORARY SEDIMENTATION ENTRAPMENT AREA SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED USING EARTHEN BERMS RIP-RAP OR CRUSHED STONE DAMS, HAY BALES OR SUITABLE MATERIALS. DIVERSION SWALES, BERMS OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE APPROPRIATE MUNICIPAL AUTHORITIES.
- AT THE COMPLETION OF THE PROJECT ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED PLANS.
- ALL CONSTRUCTION SHALL MEET CURRENT SPECIFICATIONS OF THE MUNICIPALITY WHICH APPROVED THE PLANS, AND/OR THAT TOWN OR VILLAGE HAVING JURISDICTION OVER THIS PLOT.
- THE SEED MIXTURE FOR PERMANENT SEEDING SHALL BE:  
 KENTUCKY BLUEGRASS .... 100lbs / ACRE .... (2.0 lb./ 1000 SQ. FT.)  
 CREEPING RED FESCUE .... 30lbs / ACRE .... (0.5 lb./ 1000 SQ. FT.)  
 PERENNIAL RYE GRASS .... 23lbs / ACRE .... (0.7 lb./ 1000 SQ. FT.)
- THE FOLLOWING APPLICATION RATES ARE TO BE USED FOR PERMANENT SEEDING:  
 LIME IS TO BE APPLIED TO A pH OF AT LEAST 6.0 TO 7.0 OR AT A RATE OF 4 TONS/ACRE (STANDARD GRADE LIMESTONE).  
 FERTILIZER TO BE APPLIED AT A RATE OF 800 lbs. TO 900 lbs./ACRE OR EQUIVALENT 5-10-10 (NITROGEN-PHOSPHOROUS-POTASSIUM)
- SOD MAY BE USED INSTEAD OF SEED.



**SITE SPECIFIC NOTES:**

- THIS IS A PLOT PLAN PREPARED FOR OF TAX LOT #'s 221-2-10 AS SHOWN ON THE VILLAGE OF SOUTH BLOOMING GROVE TAX MAPS.
- RECORD OWNER: FEIGY BRULL, 159 SOUTH 8th SUITE 5, BROOKLYN, NEW YORK 11211
- APPLICANT: DILIGENT DEVELOPERS NY, 2 STONEGATE DRIVE SUITE 221, MONROE, NEW YORK 10950
- SITE ADDRESSES: 6 FORT WORTH PLACE, MONROE, NEW YORK 10950
- DEED REFERENCE: DEED BOOK: 15575, DEED PAGE: 836
- AREA OF PARCEL: 13,252.83± SQUARE-FOOT or 0.304± ACRES.
- ZONING DISTRICT: (RB) - RESIDENCE B DISTRICT.
- FILED MAP REFERENCE: BEING SECTION 'B', BLOCK 'E', LOT 17 SHOWN ON A MAP ENTITLED "PLAN OF SUBDIVISION FOR WORLEY HEIGHTS, SECTION 'C' TOWN OF BLOOMING GROVE, ORANGE COUNTY" FILED MAP NUMBER 1950 FILED ON MAY 16, 1992 PREPARED BY EUSTANCE & HOROWITZ ENGINEERS OF CIRCLEVILLE, NEW YORK.
- SANITARY SEWER SYSTEM: MUNICIPAL/COMMUNITY SEWER SYSTEM VILLAGE OF SOUTH BLOOMING GROVE CONSOLIDATED SEWER DISTRICT #1.
- WATER SUPPLY SYSTEM: MUNICIPAL/COMMUNITY SEWER SYSTEM VILLAGE OF SOUTH BLOOMING GROVE CONSOLIDATED WATER DISTRICT CAP.
- EXISTING USE: SINGLE-FAMILY RESIDENTIAL.
- PROPOSED USE: FOUR (4) RESIDENTIAL CONDOMINIUMS.
- EXISTING NUMBER OF LOTS: ONE (1).
- PROPOSED NUMBER OF LOTS: ONE (1)
- GRID COORDINATES: GRID EAST: 5778856, GRID NORTH 9217229.
- TOPOGRAPHIC DATUM: APPROXIMATE U.S.G.S. (1' CONTOUR INTERVAL)
- THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 259k OF THE GENERAL MUNICIPAL LAW.
- CONTRACTOR TO KEEP ROAD AND SURROUNDING AREAS CLEAR OF CLEAR OF TRASH AND DEBRIS.
- CONTRACTOR TO MINIMIZE DIRT AND MUD IN ROADWAY BY CLEANING ROADWAY AS REQUIRED.
- PROPOSED DUMPSTER LOCATION TO BE REVIEWED WITH THE VILLAGE BUILDING DEPARTMENT.
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- NO TREE CUTTING FROM APRIL TO OCTOBER REGARDING BAT HABIT.



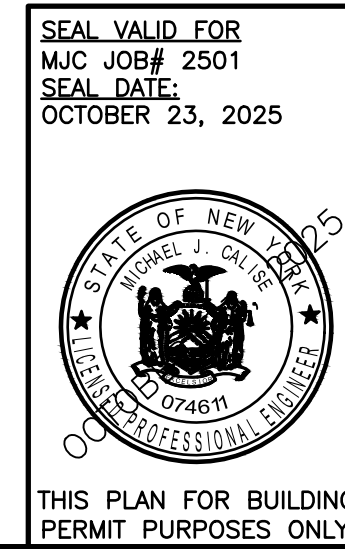
**OWNERS:**  
 FEIGY BRULL  
 159 SOUTH 158th  
 SUITE 5  
 BROOKLYN, NEW YORK 11211

**APPLICANT:**  
 DILIGENT DEVELOPERS NY  
 2 STONEGATE DRIVE  
 SUITE 221  
 MONROE, NEW YORK 10950

**BOUNDARY AND TOPOGRAPHIC SURVEY REFERENCE:**  
 BOUNDARY AND TOPOGRAPHIC REFERENCE INFORMATION SHOWN TAKEN FROM A MAP ENTITLED "OUTBOUND & TOPOGRAPHIC SURVEY PREPARED FOR 6 FORT WORTH PLACE ~ SECTION 221 ~ BLOCK 2 ~ LOT 10 ~ SITUATED IN THE VILLAGE OF SOUTH BLOOMING GROVE, TOWN OF BLOOMING GROVE, ORANGE COUNTY, NEW YORK." DATED 01-03-2024 PREPARED BY CLEARPOINT SURVEYING, D.P.C.

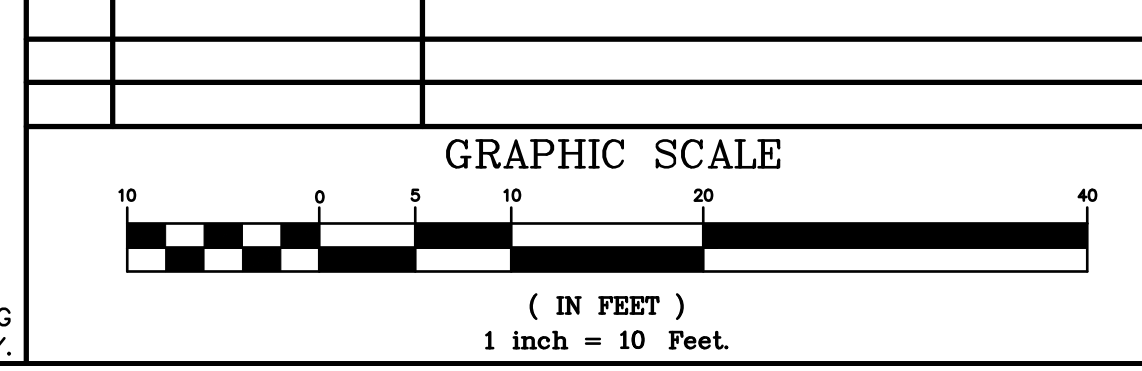
**DISTRICTS:**

TYPE	NAME	ALARM No.
FIRE DISTRICT:	SOUTH BLOOMING GROVE FIRE DISTRICT	FD039
SCHOOL DISTRICT:	WASHINGTONVILLE	484601
WATER DISTRICT:	CONSOLIDATED WATER DISTRICT CAP	WD051
SEWER DISTRICT:	CONSOLIDATED SEWER DISTRICT #1	SW094
SEWER TREATMENT PLANT:	HARRIMAN TREATMENT PLANT EXP.	SW102
AMBULANCE DISTRICT:	BLOOMING GROVE AMBULANCE	AM002
GARBAGE DISTRICT:	TOWN WIDE REFUSE	RG016



**REVISIONS:**

#	DATE	COMMENTS
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2	OCTOBER 23, 2025	OWNERS COMMENTS



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*Michael J. Calise*  
 MICHAEL J. CALISE, P.E.  
 NEW YORK STATE LIC. NO. 074611

**GRADING AND DRAINAGE PLAN**  
 PREPARED FOR:  
 TAX LOT  
 SECTION 221, BLOCK 2, LOT 10

**6 FORT WORTH PLACE**

VILLAGE OF SOUTH BLOOMING GROVE, TOWN OF BLOOMING GROVE, ORANGE COUNTY, NEW YORK

Michael J. Calise, P.E. & Associates, P.C.  
 Civil Engineering & Land Planning Consultants  
 Post Office Box 96, Pearl River, New York 10965  
 Phone (845) 629-3743

TAX LOT NUMBER: 221-2-10  
 TOTAL AREA: 0.304± ACRES  
 13,252.83± SQUARE-FOOT  
 JOB NUMBER: 2501  
 SCALE: 1"=10'  
 DATE: DECEMBER 23, 2024  
 SHEET: 2 OF 7

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<XXX.XX'±> DENOTES PROPOSED SPOT GRADE		DENOTES #(SIZE)" FIRE SERVICE LINE
-238 DENOTES EXISTING CONTOUR LINE		DENOTES PROPOSED CURB VALVE
	DENOTES PROPOSED CONTOUR	DENOTES PROPOSED SANITARY SEWER MAIN
	DENOTES EXISTING SANITARY MANHOLE	DENOTES EXISTING WETLANDS LIMIT LINE
	DENOTES EXISTING WETLANDS LIMIT LINE	DENOTES EXISTING WETLANDS LIMIT LINE
	DENOTES PROPOSED SEWER LATERAL CLEANOUT	

**LEGEND FOR EROSION CONTROL MEASURES REQUIRED AT THE TIME OF CONSTRUCTION**

	STABILIZED CONSTRUCTION ENTRANCE
	SILT FENCE
	EARTH DIKE
	SEDIMENT TRAP - STONE OUTLET
	DROP INLET PROTECTION

**SITE SPECIFIC NOTES:**

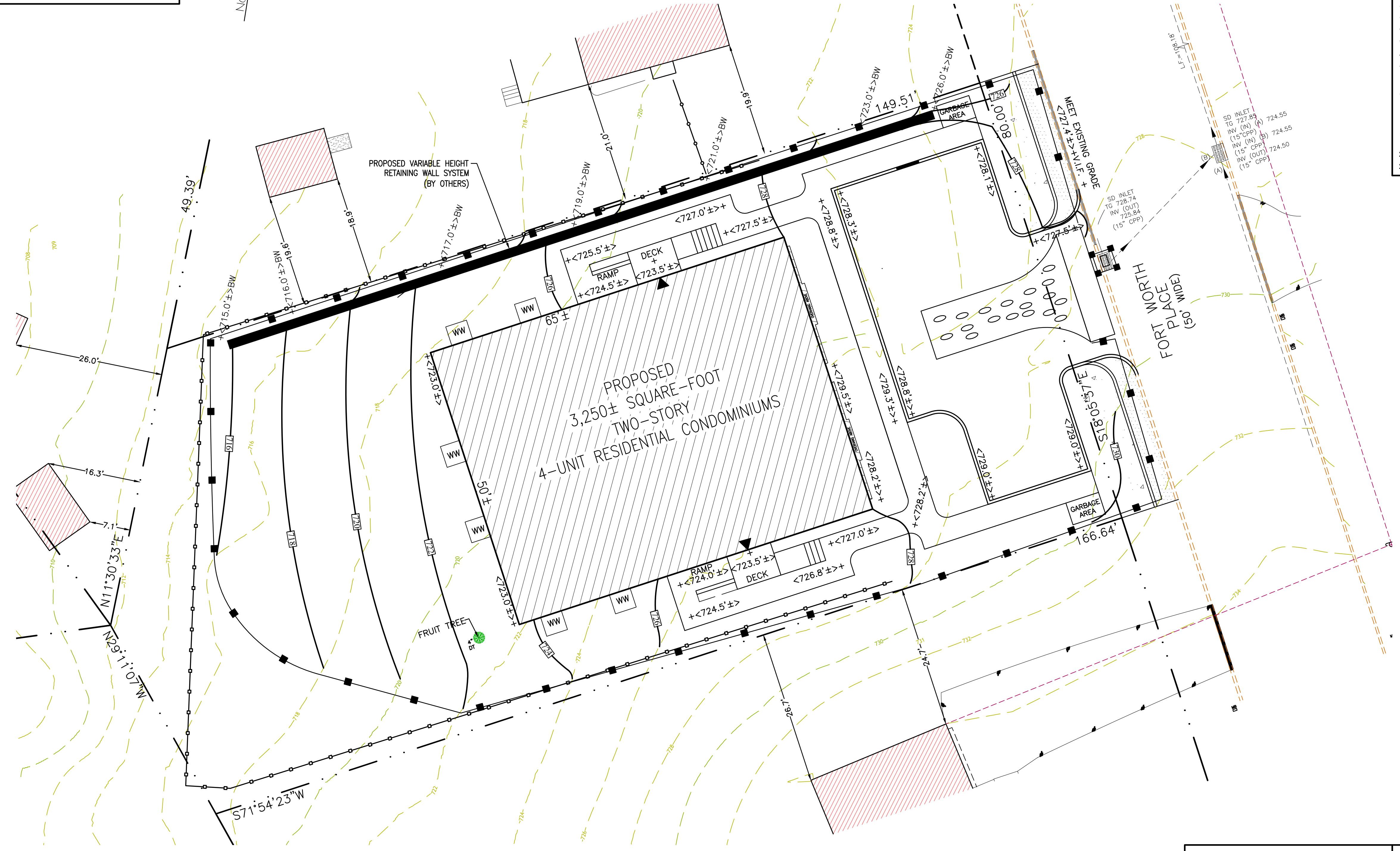
- THIS IS A PLOT PLAN PREPARED FOR OF TAX LOT #'s 221-2-10 AS SHOWN ON THE VILLAGE OF SOUTH BLOOMING GROVE TAX MAPS.
- RECORD OWNER: FEIGY BRULL, 159 SOUTH 8<sup>th</sup> SUITE 5, BROOKLYN, NEW YORK 11211
- APPLICANT: DILIGENT DEVELOPERS NY, 2 STONEGATE DRIVE, SUITE 221, MONROE, NEW YORK 10950
- SITE ADDRESSES: 6 FORT WORTH PLACE, MONROE, NEW YORK 10950
- DEED REFERENCE: DEED BOOK: 15575, DEED PAGE: 836
- AREA OF PARCEL: 13,252.83± SQUARE- FEET or 0.304± ACRES.
- ZONING DISTRICT: (RB) - RESIDENCE B DISTRICT.
- FILED MAP REFERENCE: BEING SECTION 'B', BLOCK 'E', LOT 17 SHOWN ON A MAP ENTITLED "PLAN OF SUBDIVISION FOR WORLEY HEIGHTS, SECTION 'C' TOWN OF BLOOMING GROVE, ORANGE COUNTY" FILED MAP NUMBER 1950 FILED ON MAY 16, 1962 PREPARED BY EUSTANCE & HOROWITZ ENGINEERS OF CIRCLEVILLE, NEW YORK.
- SANITARY SEWER SYSTEM: MUNICIPAL/COMMUNITY SEWER SYSTEM VILLAGE OF SOUTH BLOOMING GROVE CONSOLIDATED SEWER DISTRICT #1.
- WATER SUPPLY SYSTEM: MUNICIPAL/COMMUNITY SEWER SYSTEM VILLAGE OF SOUTH BLOOMING GROVE CONSOLIDATED WATER DISTRICT CAP.
- EXISTING USE: SINGLE-FAMILY RESIDENTIAL.
- PROPOSED USE: FOUR (4) RESIDENTIAL CONDOMINIUMS.
- EXISTING NUMBER OF LOTS: ONE (1).
- PROPOSED NUMBER OF LOTS: ONE (1)
- GRID COORDINATES: GRID EAST: 5778856, GRID NORTH 921729.
- TOPOGRAPHIC DATUM: APPROXIMATE U.S.G.S. (1' CONTOUR INTERVAL)
- THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 259k OF THE GENERAL MUNICIPAL LAW.
- CONTRACTOR TO KEEP ROAD AND SURROUNDING AREAS CLEAR OF CLEAR OF TRASH AND DEBRIS.
- CONTRACTOR TO MINIMIZE DIRT AND MUD IN ROADWAY BY CLEANING ROADWAY AS REQUIRED.
- PROPOSED DUMPSTER LOCATION TO BE REVIEWED WITH THE VILLAGE BUILDING DEPARTMENT.
- PROPOSED DUMPSTER LOCATION TO BE REVIEWED WITH THE VILLAGE BUILDING DEPARTMENT.
- NO TREE CUTTING FROM APRIL TO OCTOBER REGARDING BAT HABIT.

**SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL**

- CONSTRUCT AND MAINTAIN CONSTRUCTION ENTRANCE.
- INSTALL ALL EROSION CONTROL DEVICES AS SHOWN ON THIS PLAN AND NOTED IN THE "LEGEND FOR EROSION CONTROL DURING CONSTRUCTION". ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
- CLEAR EXISTING TREES AND VEGETATION FROM AREAS TO BE EXCAVATED OR FILLED. STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED.
- PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE. INSTALL STORM DRAINAGE AS SHOWN ON THE PLAN.
- SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNFINISHED FOR A PERIOD OF 15 DAYS, OR MORE, AS PER NOTE 4 OF "GRADING NOTES".
- AFTER COMPLETION OF THE SITE CONSTRUCTION, FILL, GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED AS PER NOTES 10, 11 AND 12 OF "GRADING NOTES".
- AFTER LOT STABILIZATION HAS TAKEN PLACE: PAVE (BASE COURSE) DRIVEWAYS. CLEAR DRAINAGE PIPES AND STRUCTURES OF ANY SEDIMENT WHICH MAY HAVE ACCUMULATED. REMOVE ALL EROSION CONTROL DEVICES.
- MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
- SILT THAT HAS BEEN ACCUMULATED IN SILT RETENTION BASINS TO BE REMOVED WHEN BASIN IS FILLED IN TO 50% OF PROVIDED DEPTH.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM.

**TOTAL SITE DISTURBANCE:**

TOTAL DISTURBED AREA:  
0.25± Acres (10,972± square-feet)



**OWNERS:**  
FEIGY BRULL  
159 SOUTH 158<sup>th</sup>  
SUITE 5  
BROOKLYN, NEW YORK 11211

**APPLICANT:**  
DILIGENT DEVELOPERS NY  
2 STONEGATE DRIVE  
SUITE 221  
MONROE, NEW YORK 10950

**BOUNDARY AND TOPOGRAPHIC SURVEY REFERENCE:**  
BOUNDARY AND TOPOGRAPHIC REFERENCE INFORMATION SHOWN TAKEN FROM A MAP ENTITLED "OUTBOUND & TOPOGRAPHIC SURVEY PREPARED FOR 6 FORT WORTH PLACE ~ SECTION 221 ~ BLOCK 2 ~ LOT 10 ~ SITUATED IN THE VILLAGE OF SOUTH BLOOMING GROVE, TOWN OF BLOOMING GROVE, ORANGE COUNTY, NEW YORK." DATED 01-03-2024 PREPARED BY CLEARPOINT SURVEYING, D.P.C.

**DISTRICTS:**

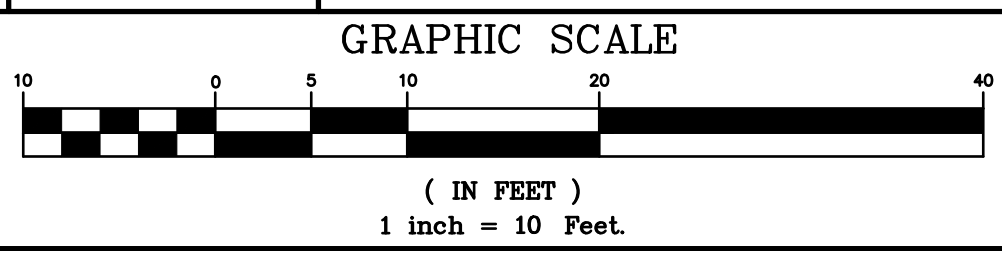
TYPE	NAME	ALARM No.
FIRE DISTRICT:	SOUTH BLOOMING GROVE FIRE DISTRICT	FD039
SCHOOL DISTRICT:	WASHINGTONVILLE	484601
WATER DISTRICT:	CONSOLIDATED WATER DISTRICT CAP	WD051
SEWER DISTRICT:	CONSOLIDATED SEWER DISTRICT #1	SW094
SEWER TREATMENT PLANT:	HARRIMAN TREATMENT PLANT EXP.	SW102
AMBULANCE DISTRICT:	BLOOMING GROVE AMBULANCE	AM002
GARBAGE DISTRICT:	TOWN WIDE REFUSE	RG016

SEAL VALID FOR  
MJC JOB# 2501  
SEAL DATE:  
OCTOBER 23, 2025

THIS PLAN FOR BUILDING PERMIT PURPOSES ONLY.

**REVISIONS:**

#	DATE	COMMENTS
1	JANUARY 12, 2025	OWNERS COMMENTS
2	OCTOBER 23, 2025	OWNERS COMMENTS



UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED N.Y.S. ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. COPIES OF THIS PLAN NOT HAVING THE EMBOSSED SEAL OF THE N.Y.S. ENGINEER SHALL NOT BE VALID. PLAN PREPARED PURSUANT TO SECTION 7209m OF THE NEW YORK STATE EDUCATION LAW.

*Michael J. Calise*  
MICHAEL J. CALISE, P.E.  
NEW YORK STATE LIC. NO. 074611

THIS PLAN IS FOR EROSION CONTROL PURPOSES ONLY.

**EROSION CONTROL PLAN**  
PREPARED FOR:  
TAX LOT  
SECTION 221, BLOCK 2, LOT 10  
**6 FORT WORTH PLACE**  
VILLAGE OF SOUTH BLOOMING GROVE, TOWN OF BLOOMING GROVE, ORANGE COUNTY, NEW YORK

TAX LOT NUMBER:	221-2-10
TOTAL AREA:	0.304± ACRES
TOTAL AREA:	13,252.83± SQUARE- FEET
JOB NUMBER:	2501
SCALE:	1"=10'
DATE:	DECEMBER 23, 2024
SHEET:	3 OF 7

Michael J. Calise, P.E. & Associates, P.C.  
Civil Engineering & Land Planning Consultants  
Post Office Box 96, Pearl River, New York 10965  
Phone (845) 629-3743

**LEGEND**

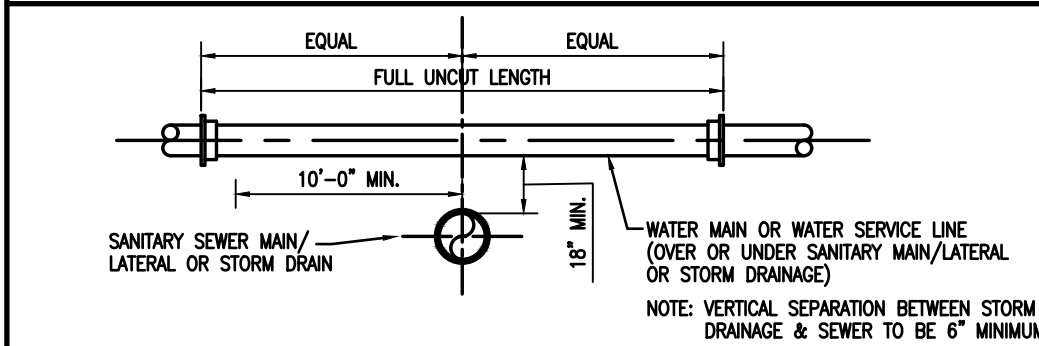
625.0(TC)	DENOTES EXISTING "TOP OF CURB" GRADE		DENOTES EXISTING UTILITY POLE
625.0(BC)	DENOTES EXISTING "BOTTOM OF CURB" GRADE		DENOTES EXISTING CONCRETE SURFACE
625.0(DC)	DENOTES EXISTING "DROP CURB" GRADE		DENOTES PROPOSED ELECTRIC METERS
625.0(BW)	DENOTES EXISTING "BOTTOM OF WALL" GRADE		DENOTES PROPOSED CONCRETE SURFACE
625.0(TW)	DENOTES EXISTING "TOP OF WALL" GRADE		DENOTES PROPOSED GAS METER
WV	DENOTES EXISTING WATER VALVE		DENOTES EXISTING STONE WALL
GV	DENOTES EXISTING GAS VALVE		DENOTES PROPOSED STONE
WMH	DENOTES EXISTING WATER MANHOLE		DENOTES PROPOSED EXISTING GAS MAIN
TMH	DENOTES EXISTING TELEPHONE MANHOLE		DENOTES PROPOSED GAS SERVICE
SMH	DENOTES EXISTING SANITARY MANHOLE		DENOTES EXISTING OVERHEAD WIRES
DMH	DENOTES EXISTING DRAINAGE MANHOLE		DENOTES PROPOSED UNDERGROUND ELECTRIC SERVICE
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CB	DENOTES EXISTING CATCH BASIN		DENOTES #(SIZE)" FIRE SERVICE LINE
+217.6	DENOTES EXISTING SPOT GRADE		DENOTES #(SIZE)" DOMESTIC & FIRE SERVICE LINE
-238	DENOTES EXISTING CONTOUR LINE		DENOTES #(SIZE)" FIRE SERVICE LINE
514	DENOTES PROPOSED CONTOUR		DENOTES PROPOSED CURB VALVE
SM	DENOTES EXISTING SANITARY MANHOLE		DENOTES PROPOSED SANITARY SEWER MAIN
WL#	DENOTES EXISTING WETLANDS LIMIT LINE		DENOTES PROPOSED SANITARY MANHOLE
CO	DENOTES PROPOSED SEWER LATERAL CLEANOUT		DENOTES EXISTING WETLANDS LIMIT LINE

**WATER NOTES:**

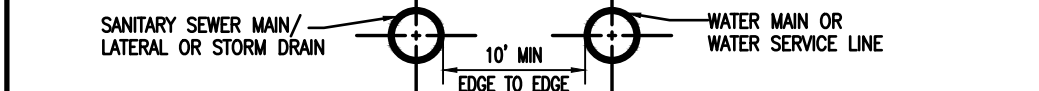
- CONTRACTOR SHALL VERIFY LOCATION AND OPERATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES, FEATURES, CONDITIONS, ETC., AND SHALL NOTIFY THE ENGINEER AND OWNER, IN WRITING, OF ANY AND ALL DISCREPANCIES.
- ALL WATER MAIN, WATER SERVICES, HYDRANTS, VALVES AND APPURTENANCES MATERIALS AND METHODS OF CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH ALL OF THE REQUIREMENTS OF THE DEPARTMENT OF THE VILLAGE OF SOUTH BLOOMING GROVE. INSTALLATION OF PIPE LINES OR APPURTENANCES SHALL NOT BE INSTALLED WITHOUT PRIOR WRITTEN APPROVAL OF THE VILLAGE ENGINEER.
- ALL PIPES SHALL BE LAID WITH A MINIMUM COVER OF 4'-6" (4.5'). ALL PIPES SHALL BE TYPE 'K' COPPER PIPE.
- WORKMANSHIP AND METHODS FOR COPPER WATER SERVICE PIPE WILL CONFORM WITH THE AMERICAN WATER WORKS ASSOCIATION (AWWA) SPECIFICATIONS (LATEST EDITION).
- ALL TRENCHES SHALL BE BACKFILLED WITH PREVIOUSLY EXCAVATED MATERIAL, IF DIRECTED BY VILLAGE. CARE SHALL BE TAKEN SO AS NOT TO DISTURB THE EXISTING OR PROPOSED PIPE LINES WHILE BACKFILLING. BACKFILLING SHALL BE THOROUGHLY TAMPED AND BROUGHT TO SIX (6) INCHES ABOVE THE TOP OF THE PIPE IN LIFTS NOT EXCEEDING EIGHT (8) INCHES. BACKFILL ABOVE THIS ZONE SHALL BE MADE WITH HIGHER LIFTS, AND COMPACTION SHALL BE SECURED BY SLUSHING, TAMING OR ROLLING. GRAVEL SHALL BE PLACED AROUND PIPES WHEN REQUIRED. NO ROCK SHALL BE PUT IN THE TRENCH UNTIL BACKFILL HAS REACHED AT LEAST ONE (1) FOOT ABOVE THE TOP OF THE PIPE. ROCK Boulders IN EXCESS OF THIRTY (30) POUNDS SHALL NOT BE PLACED IN THE TRENCH. ALL SPACES BETWEEN ROCK SHALL BE THOROUGHLY FILLED WITH EARTH BY BACKFILLING IN ALTERNATE LAYERS OF ROCK AND EARTH. LARGE PIECES OF ROCK SHALL BE DISTRIBUTED THROUGHOUT THE FILL, RATHER THAN CONCENTRATED IN ONE SECTION.
- ALL BENDS, TEES AND HYDRANTS INSTALLATIONS SHALL BE SUITABLY RESTRAINED BY THE USE OF ADEQUATE THRUST BLOCKS, RETAINER RINGS AND/OR THE USE OF SPECIAL GASKETS SUCH AS THOSE EMPLOYED WITH "LOK TYTON" PIPE OR APPROVED ALTERNATE.
- ALL TESTING AND DISINFECTION SHALL BE ACCORDING TO THE WATER DEPARTMENT OF THE VILLAGE OF SOUTH BLOOMING GROVE REQUIREMENTS.
- PROPOSED SERVICE IS A COMBINED WATER SERVICE AND FIRE LINE AND SHALL BE 2" TYPE 'K' COPPER COMBINED WATER SERVICE AND FIRE LINE SIZING PROVIDED BY PROJECT FIRE SPRINKLER CONSULTANT.
- LOCATION OF EXISTING WATER MAIN IN ROADWAY IS SHOWN BASED ON RECORDS, MARK-OUTS OR OWNER PROVIDED INFORMATION. THE LOCATION, SIZE, DEPTH AND PIPE MATERIAL MUST BE VERIFIED BY THE CONTRACTOR.

**SANITARY SEWER LATERAL NOTES:**

- CONTRACTOR SHALL VERIFY LOCATION, LENGTHS AND INVERTS, FEATURES, CONDITIONS, ETC. OF ALL SANITARY MANHOLES AND SHALL IMMEDIATELY NOTIFY THE ENGINEER AND OWNER, IN WRITING, OF ANY AND ALL DISCREPANCIES.
- ALL SANITARY SEWER LATERALS AND APPURTENANCES MATERIALS AND METHODS OF CONSTRUCTION WILL BE IN ACCORDANCE WITH ALL OF THE REQUIREMENTS OF THE SEWER DEPARTMENT OF THE VILLAGE OF SOUTH BLOOMING GROVE. NO INSTALLATION OF WATER LINES OR APPURTENANCES SHALL BE MADE INSTALLED WITHOUT PRIOR WRITTEN APPROVAL OF THE VILLAGE ENGINEER.
- ALL PIPES SHALL LAID IN CONFORMANCE WITH THE PLANS AND FIELD-CONDITIONS. PIPES SHALL BE FOUR (4) INCH SDR-35 PVC PIPE. ALL PIPES SHALL BE INSTALLED WITH BELLS FACING UPSTREAM.
- ALL TESTING AND DISINFECTION SHALL BE ACCORDING TO THE SEWER DEPARTMENT OF THE VILLAGE OF SOUTH BLOOMING GROVE REQUIREMENTS.
- IF LOCATION, ELEVATIONS, PIPE SIZES AND INVERTS OF EXISTING SEWER MAIN IS SHOWN BASED ON RECORD DOCUMENTS, MARK-OUTS OR OWNER PROVIDED INFORMATION, IF MANHOLES CANNOT BE OPENED OR ARE CLOUSED, THE CONTRACTOR MUST VERIFY INVERTS, DISTANCES BETWEEN MANHOLES AND CONFIRM WITH THE ENGINEER THE SANITARY LATERALS WILL SERVICE PROPOSED FACILITY.



**VERTICAL SEPARATION DETAIL**  
NOT TO SCALE

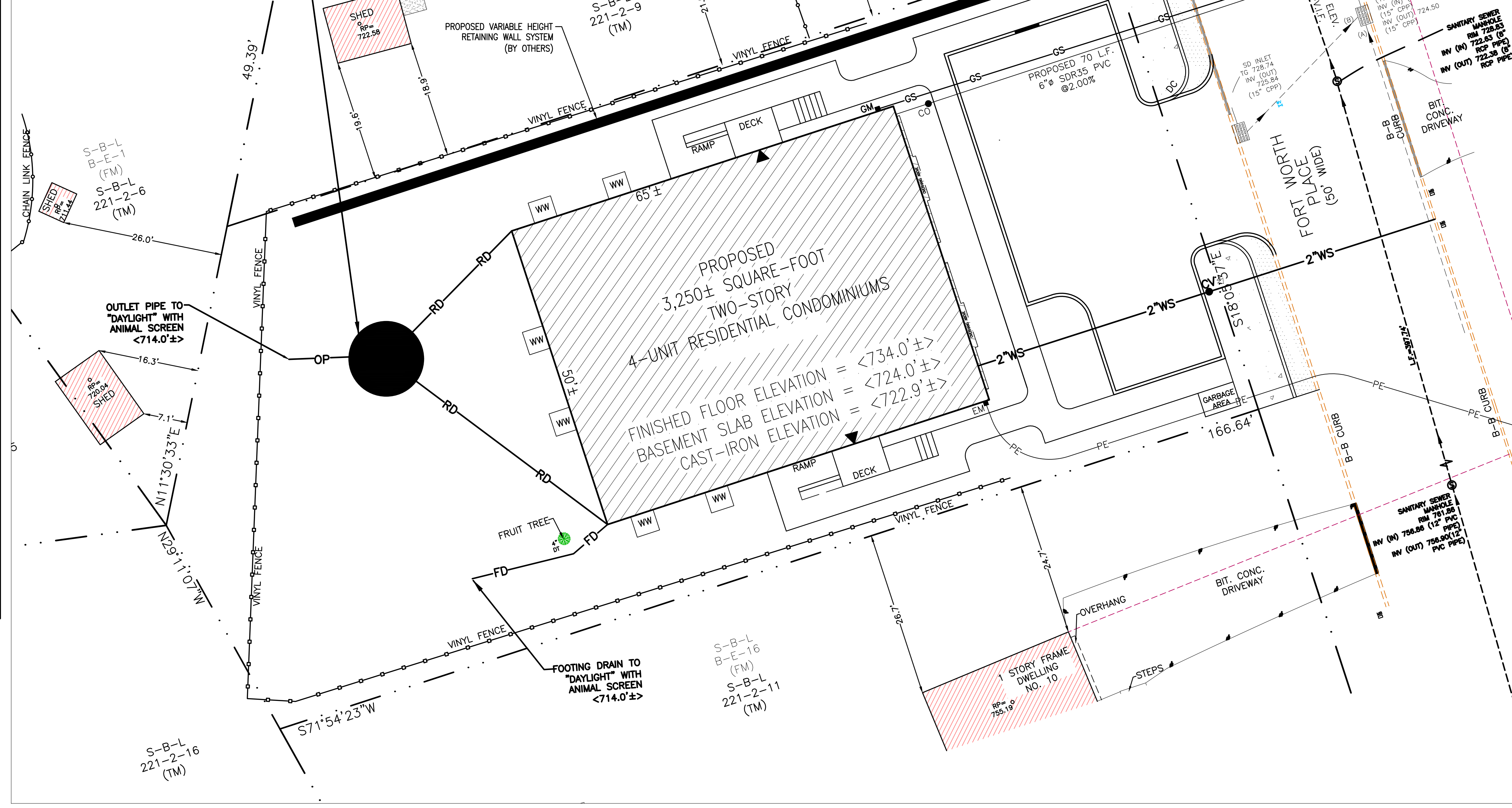


**HORIZONTAL SEPARATION DETAIL**  
NOT TO SCALE

NOTE: THE SEPARATION REQUIREMENT SHALL CONFORM TO CURRENT ORANGE COUNTY DEPARTMENT OF HEALTH STATUTES, CODES, RULES, REGULATIONS AND LAWS AS THEY APPLY. ANY DEVIATION FROM THE ABOVE SEPARATION REQUIREMENTS SHALL REQUIRE WRITTEN APPROVAL FROM THE ORANGE COUNTY DEPARTMENT OF HEALTH.

**WATER/SEWER SEPARATION REQUIREMENTS**  
NOT TO SCALE

**PROPOSED DRY WELL #1**  
GRATE = 719.0'±  
INV.(IN) = 717.0'±  
INV.(OUT) = 716.7'±  
BOT. DRY WELL = 710.7'±



**SITE SPECIFIC NOTES:**

- THIS IS A PLOT PLAN PREPARED FOR OF TAX LOT #'s 221-2-10 AS SHOWN ON THE VILLAGE OF SOUTH BLOOMING GROVE TAX MAPS.
- RECORD OWNER: FEIGY BRULL, 159 SOUTH 158<sup>th</sup> SUITE 5, BROOKLYN, NEW YORK 11211
- APPLICANT: DILIGENT DEVELOPERS NY, 2 STONEGATE DRIVE, SUITE 221, MONROE, NEW YORK 10950
- SITE ADDRESSES: 6 FORT WORTH PLACE, MONROE, NEW YORK 10950
- DEED REFERENCE: DEED BOOK: 15575, DEED PAGE: 836
- AREA OF PARCEL: 13,252.83± SQUARE-FEET OR 0.304± ACRES.
- ZONING DISTRICT: (RB) - RESIDENCE B DISTRICT.
- FILED MAP REFERENCE: BEING SECTION 'B', BLOCK 'E', LOT 17 SHOWN ON A MAP ENTITLED "PLAN OF SUBDIVISION FOR WORLEY HEIGHTS, SECTION 'C' TOWN OF BLOOMING GROVE, ORANGE COUNTY" FILED MAP NUMBER 1950 FILED ON MAY 16, 1992 PREPARED BY EUSTANCE & HOROWITZ ENGINEERS OF CIRCLEVILLE, NEW YORK.
- SANITARY SEWAGE SYSTEM: MUNICIPAL/COMMUNITY SEWER SYSTEM VILLAGE OF SOUTH BLOOMING GROVE CONSOLIDATED SEWER DISTRICT #1.
- WATER SUPPLY SYSTEM: MUNICIPAL/COMMUNITY SEWER SYSTEM VILLAGE OF SOUTH BLOOMING GROVE CONSOLIDATED WATER DISTRICT CAP.
- EXISTING USE: SINGLE-FAMILY RESIDENTIAL.
- PROPOSED USE: FOUR (4) RESIDENTIAL CONDOMINIUMS.
- EXISTING NUMBER OF LOTS: ONE (1).
- PROPOSED NUMBER OF LOTS: ONE (1)
- GRID COORDINATES: GRID EAST: 5778856, GRID NORTH 921729.
- TOPOGRAPHIC DATUM: APPROXIMATE U.S.G.S. (1' CONTOUR INTERVAL)
- THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 259k OF THE GENERAL MUNICIPAL LAW.
- CONTRACTOR TO KEEP ROAD AND SURROUNDING AREAS CLEAR OF CLEAR OF TRASH AND DEBRIS.
- CONTRACTOR TO MINIMIZE DIRT AND MUD IN ROADWAY BY CLEANING ROADWAY AS REQUIRED.
- PROPOSED DUMPSTER LOCATION TO BE REVIEWED WITH THE VILLAGE BUILDING DEPARTMENT.
- PROPOSED DUMPSTER LOCATION TO BE REVIEWED WITH THE VILLAGE BUILDING DEPARTMENT.
- NO TREE CUTTING FROM APRIL TO OCTOBER REGARDING BAT HABIT.



Call before you dig.

**OWNERS:**  
FEIGY BRULL  
159 SOUTH 158<sup>th</sup>  
SUITE 5  
BROOKLYN, NEW YORK 11211

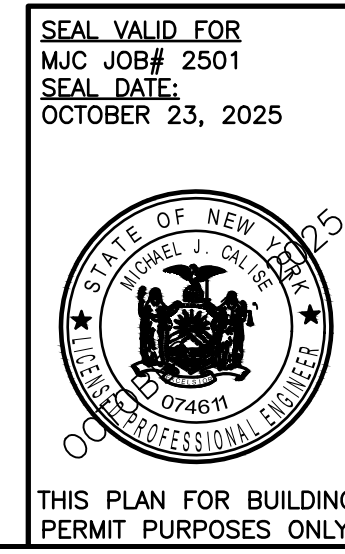
**APPLICANT:**  
DILIGENT DEVELOPERS NY  
2 STONEGATE DRIVE  
SUITE 221  
MONROE, NEW YORK 10950

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**BOUNDARY AND TOPOGRAPHIC SURVEY REFERENCE:**  
BOUNDARY AND TOPOGRAPHIC REFERENCE INFORMATION SHOWN TAKEN FROM A MAP ENTITLED " OUTBOUND & TOPOGRAPHIC SURVEY PREPARED FOR 6 FORT WORTH PLACE ~ SECTION 221 ~ BLOCK 2 ~ LOT 10 ~ SITUATED IN THE VILLAGE OF SOUTH BLOOMING GROVE, TOWN OF BLOOMING GROVE, ORANGE COUNTY, NEW YORK." DATED 01-03-2024 PREPARED BY CLEARPOINTE SURVEYING, D.P.C.

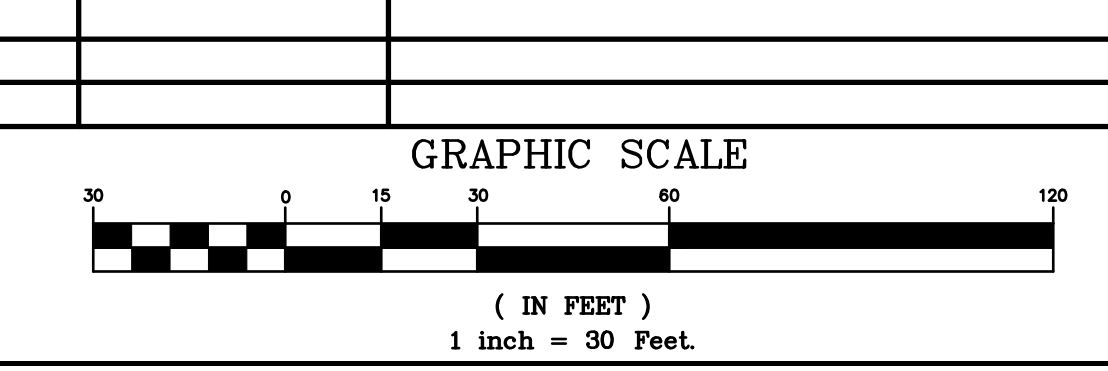
**DISTRICTS:**

TYPE	NAME	ALARM No.
FIRE DISTRICT:	SOUTH BLOOMING GROVE FIRE DISTRICT	FD039
SCHOOL DISTRICT:	WASHINGTONVILLE	484601
WATER DISTRICT:	CONSOLIDATED WATER DISTRICT CAP	WD051
SEWER DISTRICT:	CONSOLIDATED SEWER DISTRICT #1	SW094
SEWER TREATMENT PLANT:	HARRIMAN TREATMENT PLANT EXP.	SW102
AMBULANCE DISTRICT:	BLOOMING GROVE AMBULANCE	AM002
GARBAGE DISTRICT:	TOWN WIDE REFUSE	RG016



**REVISIONS:**

#	DATE	COMMENTS
1	JANUARY 12, 2025	OWNERS COMMENTS
2	OCTOBER 23, 2025	OWNERS COMMENTS



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*Michael J. Calise*  
MICHAEL J. CALISE, P.E.  
NEW YORK STATE LIC. NO. 074611

PREPARED FOR:  
TAX LOT  
SECTION 221, BLOCK 2, LOT 10

**6 FORT WORTH PLACE**

VILLAGE OF SOUTH BLOOMING GROVE, TOWN OF BLOOMING GROVE, ORANGE COUNTY, NEW YORK

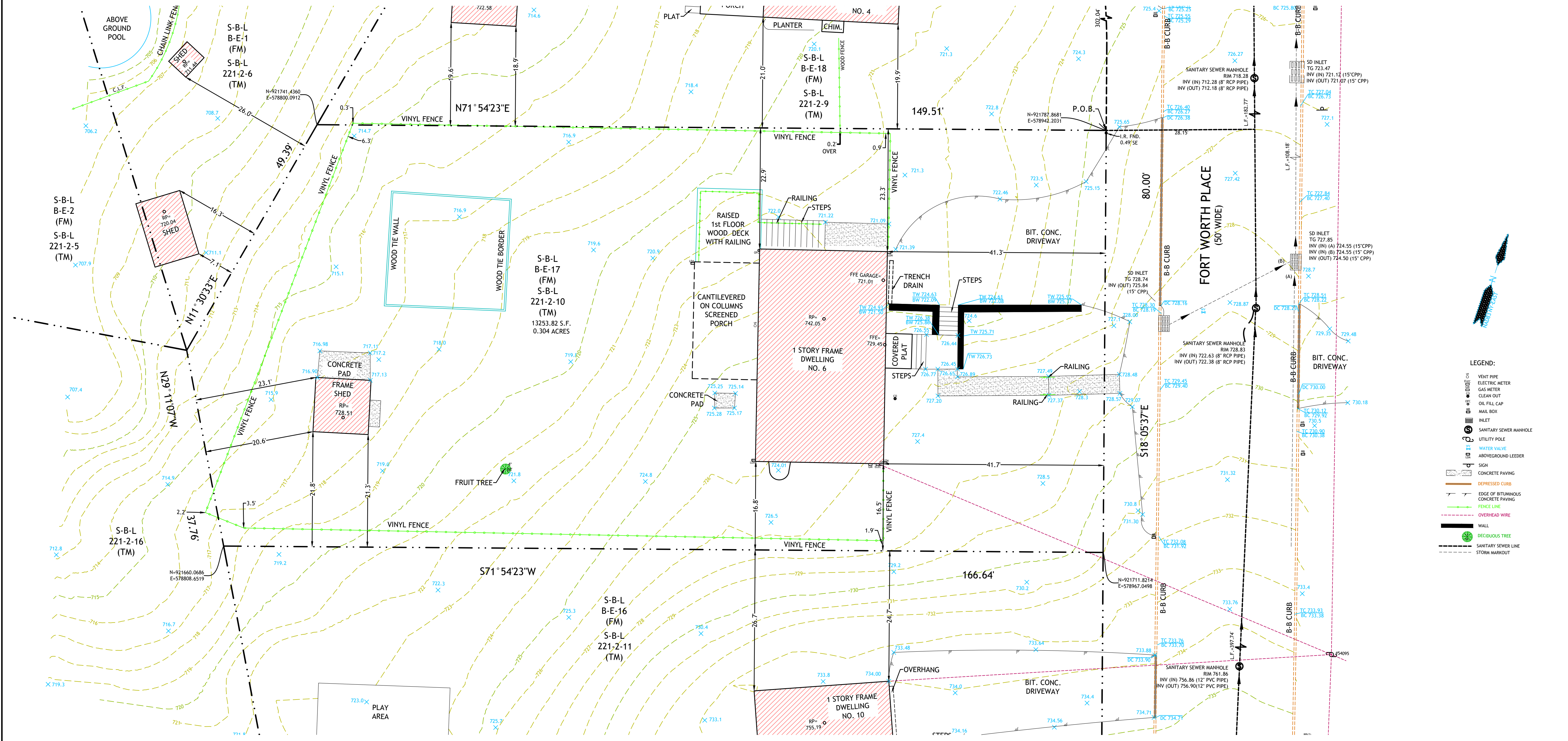
Michael J. Calise, P.E. & Associates, P.C.  
Civil Engineering & Land Planning Consultants  
Post Office Box 96, Pearl River, New York 10955  
Phone (845) 629-3743

TAX LOT NUMBER: 221-2-10  
TOTAL AREA: 0.304± ACRES  
13,252.83± SQUARE-FEET  
JOB NUMBER: 2501  
SCALE: 1"=30'  
DATE: DECEMBER 23, 2024  
SHEET: 1 OF 8

**LEGEND**

625.0(TC) DENOTES EXISTING "TOP OF CURB" GRADE		DENOTES EXISTING UTILITY POLE
625.0(BC) DENOTES EXISTING "BOTTOM OF CURB" GRADE		DENOTES EXISTING CONCRETE SURFACE
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CB DENOTES EXISTING CATCH BASIN		DENOTES # (SIZE)" FIRE SERVICE LINE
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  - SANITARY SEWER SYSTEM: MUNICIPAL/COMMUNITY SEWER SYSTEM VILLAGE OF SOUTH BLOOMING GROVE CONSOLIDATED SEWER DISTRICT #1.
  - WATER SUPPLY SYSTEM: MUNICIPAL/COMMUNITY SEWER SYSTEM VILLAGE OF SOUTH BLOOMING GROVE CONSOLIDATED WATER DISTRICT CAP.
  - EXISTING USE: SINGLE-FAMILY RESIDENTIAL.
  - PROPOSED USE: FOUR (4) RESIDENTIAL CONDOMINIUMS.
  - EXISTING NUMBER OF LOTS: ONE (1).
  - PROPOSED NUMBER OF LOTS: ONE (1)
  - GRID COORDINATES: GRID EAST: 5778856, GRID NORTH 921729.
  - TOPOGRAPHIC DATUM: APPROXIMATE U.S.G.S. (1' CONTOUR INTERVAL)
  - THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 259k OF THE GENERAL MUNICIPAL LAW.
  - CONTRACTOR TO KEEP ROAD AND SURROUNDING AREAS CLEAR OF CLEAR OF TRASH AND DEBRIS.
  - CONTRACTOR TO MINIMIZE DIRT AND MUD IN ROADWAY BY CLEANING ROADWAY AS REQUIRED.
  - PROPOSED DUMPSTER LOCATION TO BE REVIEWED WITH THE VILLAGE BUILDING DEPARTMENT.
  - PROPOSED DUMPSTER LOCATION TO BE REVIEWED WITH THE VILLAGE BUILDING DEPARTMENT.
  - NO TREE CUTTING FROM APRIL TO OCTOBER REGARDING BAT HABITAT.



**LEGEND:**

	VENT PIPE
	ELECTRIC METER
	GAS METER
	CLEAN OUT
	OIL FILL CAP
	MAIL BOX
	INLET
	SANITARY SEWER MANHOLE
	UTILITY POLE
	WATER VALVE
	ABOVEGROUND LEADER
	SIGN
	CONCRETE PAVING
	DEPRESSED CURB
	EDGE OF BITUMINOUS CONCRETE PAVING
	FENCE LINE
	OVERHEAD WIRE
	WALL
	DECIDUOUS TREE
	SANITARY SEWER LINE
	STORM MARKOUT

Know what's below.  
  
 Call before you dig.

**OWNERS:**  
 FEIGY BRULL  
 159 SOUTH 158<sup>th</sup>  
 SUITE 5  
 BROOKLYN, NEW YORK 11211

**APPLICANT:**  
 DILIGENT DEVELOPERS NY  
 2 STONEGATE DRIVE  
 SUITE 221  
 MONROE, NEW YORK 10950

**BOUNDARY AND TOPOGRAPHIC SURVEY REFERENCE:**  
 BOUNDARY AND TOPOGRAPHIC REFERENCE INFORMATION SHOWN TAKEN FROM A MAP ENTITLED "OUTBOUND & TOPOGRAPHIC SURVEY PREPARED FOR 6 FORT WORTH PLACE ~ SECTION 221 ~ BLOCK 2 ~ LOT 10 ~ SITUATED IN THE VILLAGE OF SOUTH BLOOMING GROVE, TOWN OF BLOOMING GROVE, ORANGE COUNTY, NEW YORK." DATED 01-03-2024 PREPARED BY CLEARPOINT SURVEYING, D.P.C.

**DISTRICTS:**

TYPE	NAME	ALARM No.
FIRE DISTRICT:	SOUTH BLOOMING GROVE FIRE DISTRICT	FD039
SCHOOL DISTRICT:	WASHINGTONVILLE	484601
WATER DISTRICT:	CONSOLIDATED WATER DISTRICT CAP	WD051
SEWER DISTRICT:	CONSOLIDATED SEWER DISTRICT #1	SW094
SEWER TREATMENT PLANT:	HARRIMAN TREATMENT PLANT EXP.	SW102
AMBULANCE DISTRICT:	BLOOMING GROVE AMBULANCE	AM002
GARBAGE DISTRICT:	TOWN WIDE REFUSE	RG016

SEAL VALID FOR  
 MJC JOB# 2501  
 SEAL DATE:  
 OCTOBER 23, 2025

THIS PLAN FOR BUILDING PERMIT PURPOSES ONLY.

**REVISIONS:**

#	DATE	COMMENTS
1	JANUARY 12, 2025	OWNERS COMMENTS
2	OCTOBER 23, 2025	OWNERS COMMENTS

**GRAPHIC SCALE**

( IN FEET )  
 1 inch = 10 Feet.

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED N.Y.S. ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. COPIES OF THIS PLAN NOT HAVING THE EMBOSSED SEAL OF THE N.Y.S. ENGINEER SHALL NOT BE VALID. PLAN PREPARED PURSUANT TO SECTION 7208m OF THE NEW YORK STATE EDUCATION LAW.

MICHAEL J. CALISE, P.E.  
 NEW YORK STATE LIC. NO. 074611

**EXISTING CONDITIONS PLAN**  
 PREPARED FOR:  
 TAX LOT  
 SECTION 221, BLOCK 2, LOT 10

**6 FORT WORTH PLACE**

VILLAGE OF SOUTH BLOOMING GROVE, TOWN OF BLOOMING GROVE, ORANGE COUNTY, NEW YORK

Michael J. Calise, P.E. & Associates, P.C.  
 Civil Engineering & Land Planning Consultants  
 Post Office Box 96, Pearl River, New York 10965  
 Phone (845) 629-3743

TAX LOT NUMBER:  
221-2-10

TOTAL AREA:  
0.304±  
ACRES

13,252.83±  
SQUARE-Feet

JOB NUMBER:  
2501

SCALE:  
1"=10'

DATE:  
DECEMBER 23, 2024

SHEET:  
5 OF 7

**LEGEND**

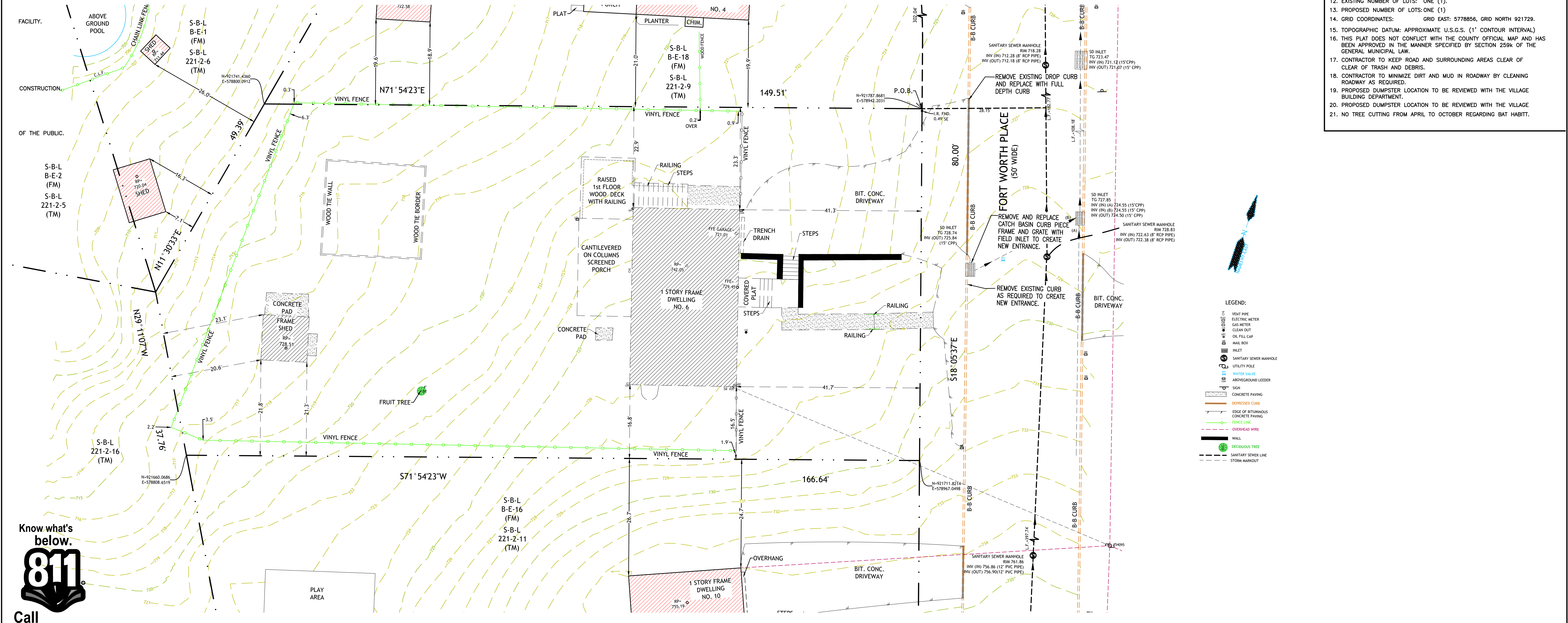
625.0(TC) DENOTES EXISTING "TOP OF CURB" GRADE		DENOTES EXISTING UTILITY POLE
625.0(BC) DENOTES EXISTING "BOTTOM OF CURB" GRADE		DENOTES EXISTING CONCRETE SURFACE
625.0(DC) DENOTES EXISTING "DROP CURB" GRADE		DENOTES PROPOSED ELECTRIC METERS
625.0(BW) DENOTES EXISTING "BOTTOM OF WALL" GRADE		DENOTES PROPOSED CONCRETE SURFACE
625.0(TW) DENOTES EXISTING "TOP OF WALL" GRADE		DENOTES PROPOSED GAS METER
WV DENOTES EXISTING WATER VALVE		DENOTES EXISTING STONE WALL
GV DENOTES EXISTING GAS VALVE		DENOTES PROPOSED STONE
WMH DENOTES EXISTING WATER MANHOLE		DENOTES PROPOSED EXISTING GAS MAIN
TMH DENOTES EXISTING TELEPHONE MANHOLE		DENOTES PROPOSED GAS SERVICE
SMH DENOTES EXISTING SANITARY MANHOLE		DENOTES EXISTING OVERHEAD WIRES
DMH DENOTES EXISTING DRAINAGE MANHOLE		DENOTES PROPOSED UNDERGROUND ELECTRIC SERVICE
LP DENOTES EXISTING LIGHT POLE		#WS DENOTES #(SIZE)" DOMESTIC WATER SERVICE
CB DENOTES EXISTING CATCH BASIN		#FS DENOTES #(SIZE)" FIRE SERVICE LINE
+217.6 DENOTES EXISTING SPOT GRADE		#F&WS DENOTES #(SIZE)" DOMESTIC & FIRE SERVICE LINE
<XXX.XX'±> DENOTES PROPOSED SPOT GRADE		#FS DENOTES #(SIZE)" FIRE SERVICE LINE
-238 DENOTES EXISTING CONTOUR LINE		CV DENOTES PROPOSED CURB VALVE
	DENOTES PROPOSED CONTOUR	
	DENOTES EXISTING SANITARY MANHOLE	
	DENOTES EXISTING WETLANDS LIMIT LINE	
	DENOTES PROPOSED SEWER LATERAL CLEANOUT	

**DEMOLITION NOTES:**

- ALL EXISTING SITE FEATURES, AMENITIES AND APPURTENANCES TO BE REMOVED AND LEGALLY DISPOSED OF AT AN APPROVED
- CONTRACTOR SHALL OBTAIN ALL REQUIRED FEDERAL, STATE, COUNTY AND LOCAL MUNICIPAL PERMITS.
- CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL MUNICIPAL REQUIREMENTS.
- CONTRACTOR SHALL LEGALLY DISPOSE OF DEMOLITION DEBRIS.
- ALL EXISTING UTILITIES SHALL BE REMOVED IN ACCORDANCE WITH ALL RESPECTIVE UTILITY COMPANY REQUIREMENTS.
- ALL EXISTING SITE IMPROVEMENTS AND APPURTENANCES TO BE REMOVED AND LEGALLY DISPOSED OF AS PER ALL FEDERAL, STATE, COUNTY AND LOCAL MUNICIPAL REQUIREMENTS.
- LOT TO BE LEFT VACANT OF ALL EXISTING IMPROVEMENTS AND FEATURES DEEMED NECESSARY BY THE OWNER FOR
- ALL REQUIRED EROSION CONTROL MEASURES TO BE IN-PLACE PRIOR TO ANY DEMOLITION.
- CONTRACTOR WILL BE RESPONSIBLE FOR SECURING AND THE SAFETY OF THE PROJECT WORK SITE AND PROVIDE ALL NECESSARY MEASURES TO INSURE THE SITE IS SECURE AND SAFE. THESE MEASURES ARE NOT LIMITED TO FENCES, GATES, LIGHTS, CAMERAS OR SECURITY GUARDS AS DEEMED NECESSARY BY THE OWNER.
- CONTRACTOR AND OWNER WILL PROVIDE AN SECURITY MEASURES NECESSARY TO PROTECT THE HEALTH, SAFETY AND WELFARE
- SEE SITE SPECIFIC NOTES # 17, 18, 19, 20 AND 21 FOR ADDITIONAL REQUIREMENTS.

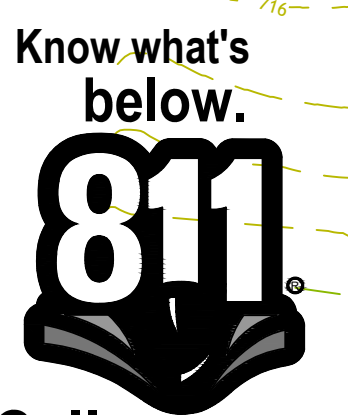
**SITE SPECIFIC NOTES:**

- THIS IS A PLOT PLAN PREPARED FOR OF TAX LOT #'s 221-2-10 AS SHOWN ON THE VILLAGE OF SOUTH BLOOMING GROVE TAX MAPS.
- RECORD OWNER: FEIGY BRULL, 159 SOUTH 8<sup>th</sup> SUITE 5, BROOKLYN, NEW YORK 11211
- APPLICANT: DILIGENT DEVELOPERS NY, 2 STONEGATE DRIVE SUITE 221, MONROE, NEW YORK 10950
- SITE ADDRESSES: 6 FORT WORTH PLACE, MONROE, NEW YORK 10950
- DEED REFERENCE: DEED BOOK: 15575, DEED PAGE: 836
- AREA OF PARCEL: 13,252.83± SQUARE-FEET OR 0.304± ACRES.
- ZONING DISTRICT: (RB) - RESIDENCE B DISTRICT.
- FILED MAP REFERENCE: BEING SECTION 'B', BLOCK 'E', LOT 17 SHOWN ON A MAP ENTITLED "PLAN OF SUBDIVISION FOR WORLEY HEIGHTS, SECTION 'C' TOWN OF BLOOMING GROVE, ORANGE COUNTY" FILED MAP NUMBER 1950 FILED ON MAY 16, 1992 PREPARED BY EUSTANCE & HOROWITZ ENGINEERS OF CIRCLEVILLE, NEW YORK.
- SANITARY SEWAGE SYSTEM: MUNICIPAL/COMMUNITY SEWER SYSTEM VILLAGE OF SOUTH BLOOMING GROVE CONSOLIDATED SEWER DISTRICT #1.
- WATER SUPPLY SYSTEM: MUNICIPAL/COMMUNITY SEWER SYSTEM VILLAGE OF SOUTH BLOOMING GROVE CONSOLIDATED WATER DISTRICT CAP.
- EXISTING USE: SINGLE-FAMILY RESIDENTIAL.
- PROPOSED USE: FOUR (4) RESIDENTIAL CONDOMINIUMS.
- EXISTING NUMBER OF LOTS: ONE (1).
- PROPOSED NUMBER OF LOTS: ONE (1)
- GRID COORDINATES: GRID EAST: 5778856, GRID NORTH 921729.
- TOPOGRAPHIC DATUM: APPROXIMATE U.S.G.S. (1' CONTOUR INTERVAL)
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 259k OF THE GENERAL MUNICIPAL LAW.
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- PROPOSED DUMPSTER LOCATION TO BE REVIEWED WITH THE VILLAGE BUILDING DEPARTMENT.
- PROPOSED DUMPSTER LOCATION TO BE REVIEWED WITH THE VILLAGE BUILDING DEPARTMENT.
- NO TREE CUTTING FROM APRIL TO OCTOBER REGARDING BATT HABIT.



**LEGEND:**

	VENT PIPE
	ELECTRIC METER
	GAS METER
	CLEAN OUT
	OIL-FILL CAP
	MAIL BOX
	INLET
	SANITARY SEWER MANHOLE
	UTILITY POLE
	WATER VALVE
	ABOVEGROUND LEADER
	SIGN
	CONCRETE PAVING
	DEPRESSED CURB
	EDGE OF BITUMINOUS CONCRETE PAVING
	FENCE LINE
	OVERHEAD WIRE
	WALL
	DECIDUOUS TREE
	SANITARY SEWER LINE
	STORM MARKOUT



**OWNERS:**  
FEIGY BRULL  
159 SOUTH 158<sup>th</sup>  
SUITE 5  
BROOKLYN, NEW YORK 11211

**APPLICANT:**  
DILIGENT DEVELOPERS NY  
2 STONEGATE DRIVE  
SUITE 221  
MONROE, NEW YORK 10950

**BOUNDARY AND TOPOGRAPHIC SURVEY REFERENCE:**  
BOUNDARY AND TOPOGRAPHIC REFERENCE INFORMATION SHOWN TAKEN FROM A MAP ENTITLED "OUTBOUND & TOPOGRAPHIC SURVEY PREPARED FOR 6 FORT WORTH PLACE ~ SECTION 221 ~ BLOCK 2 ~ LOT 10 ~ SITUATED IN THE VILLAGE OF SOUTH BLOOMING GROVE, TOWN OF BLOOMING GROVE, ORANGE COUNTY, NEW YORK," DATED 01-03-2024 PREPARED BY CLEARPOINT SURVEYING, D.P.C.

**DISTRICTS:**

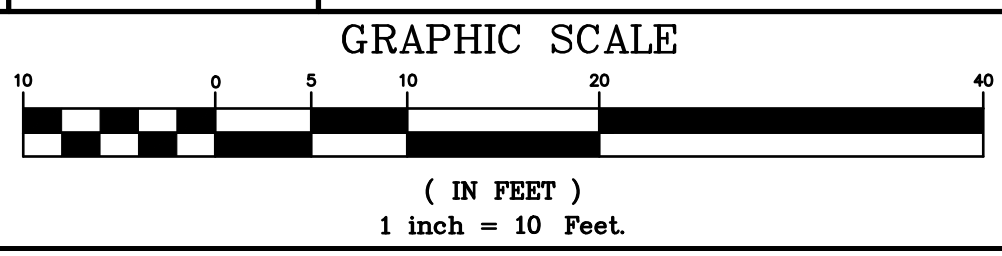
TYPE	NAME	ALARM No.
FIRE DISTRICT:	SOUTH BLOOMING GROVE FIRE DISTRICT	FD039
SCHOOL DISTRICT:	WASHINGTONVILLE	484601
WATER DISTRICT:	CONSOLIDATED WATER DISTRICT CAP	WD051
SEWER DISTRICT:	CONSOLIDATED SEWER DISTRICT #1	SW094
SEWER TREATMENT PLANT:	HARRIMAN TREATMENT PLANT EXP.	SW102
AMBULANCE DISTRICT:	BLOOMING GROVE AMBULANCE	AM002
GARBAGE DISTRICT:	TOWN WIDE REFUSE	RG016

SEAL VALID FOR  
MJC JOB# 2501  
SEAL DATE:  
OCTOBER 23, 2025

THIS PLAN FOR BUILDING PERMIT PURPOSES ONLY.

**REVISIONS:**

#	DATE	COMMENTS
1	JANUARY 12, 2025	OWNERS COMMENTS
2	OCTOBER 23, 2025	OWNERS COMMENTS



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*Michael J. Calise*  
MICHAEL J. CALISE, P.E.  
NEW YORK STATE LIC. NO. 074611

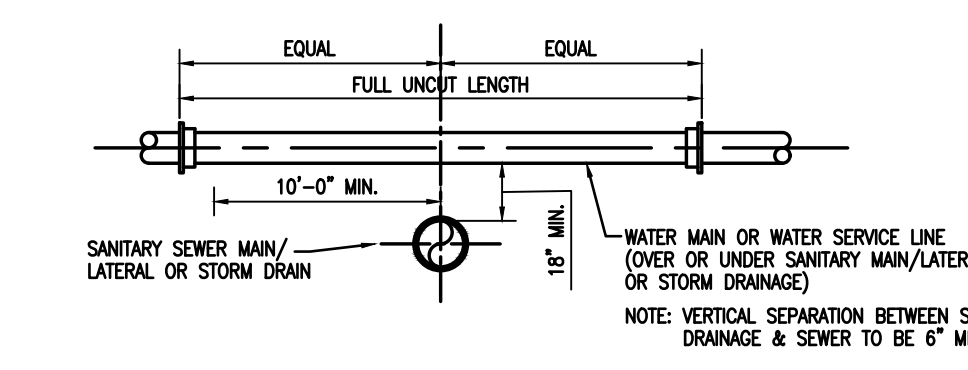
**SITE DEMOLITION PLAN**  
PREPARED FOR:  
TAX LOT  
SECTION 221, BLOCK 2, LOT 10

**6 FORT WORTH PLACE**

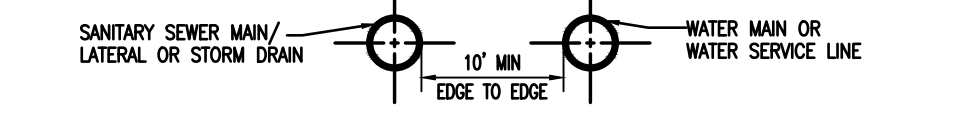
VILLAGE OF SOUTH BLOOMING GROVE, TOWN OF BLOOMING GROVE, ORANGE COUNTY, NEW YORK

Michael J. Calise, P.E. & Associates, P.C.  
Civil Engineering & Land Planning Consultants  
Post Office Box 96, Pearl River, New York 10965  
Phone (845) 629-3743

TAX LOT NUMBER: 221-2-10  
TOTAL AREA: 0.304± ACRES  
13,252.83± SQUARE-FEET  
JOB NUMBER: 2501  
SCALE: 1"=10'  
DATE: DECEMBER 23, 2024  
SHEET: 6 OF 7



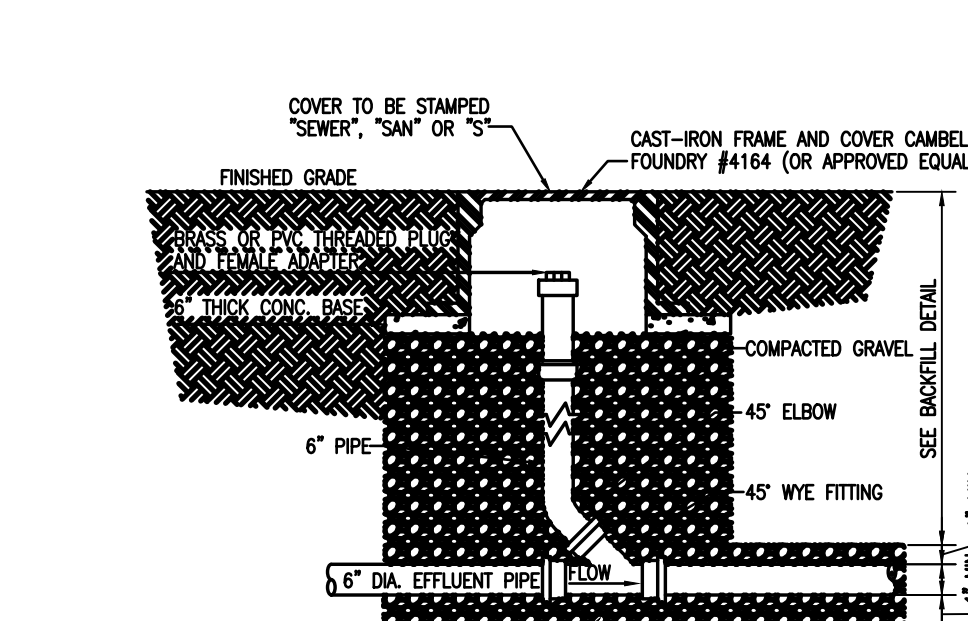
**VERTICAL SEPARATION DETAIL**  
NOT TO SCALE



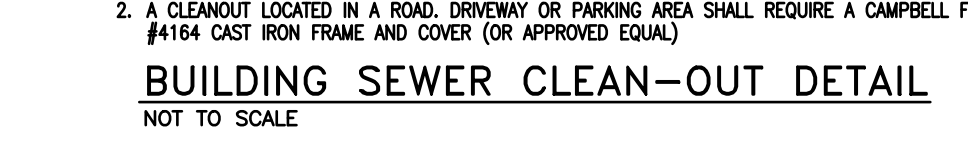
**HORIZONTAL SEPARATION DETAIL**  
NOT TO SCALE

NOTE: THE SEPARATION REQUIREMENT SHALL CONFORM TO CURRENT ORANGE COUNTY DEPARTMENT OF HEALTH STATUS CODES, RULES, REGULATIONS AND LAWS AS THEY APPLY. ANY DEVIATION FROM THE ABOVE SEPARATION REQUIREMENTS SHALL REQUIRE WRITTEN APPROVAL FROM THE ORANGE COUNTY DEPARTMENT OF HEALTH.

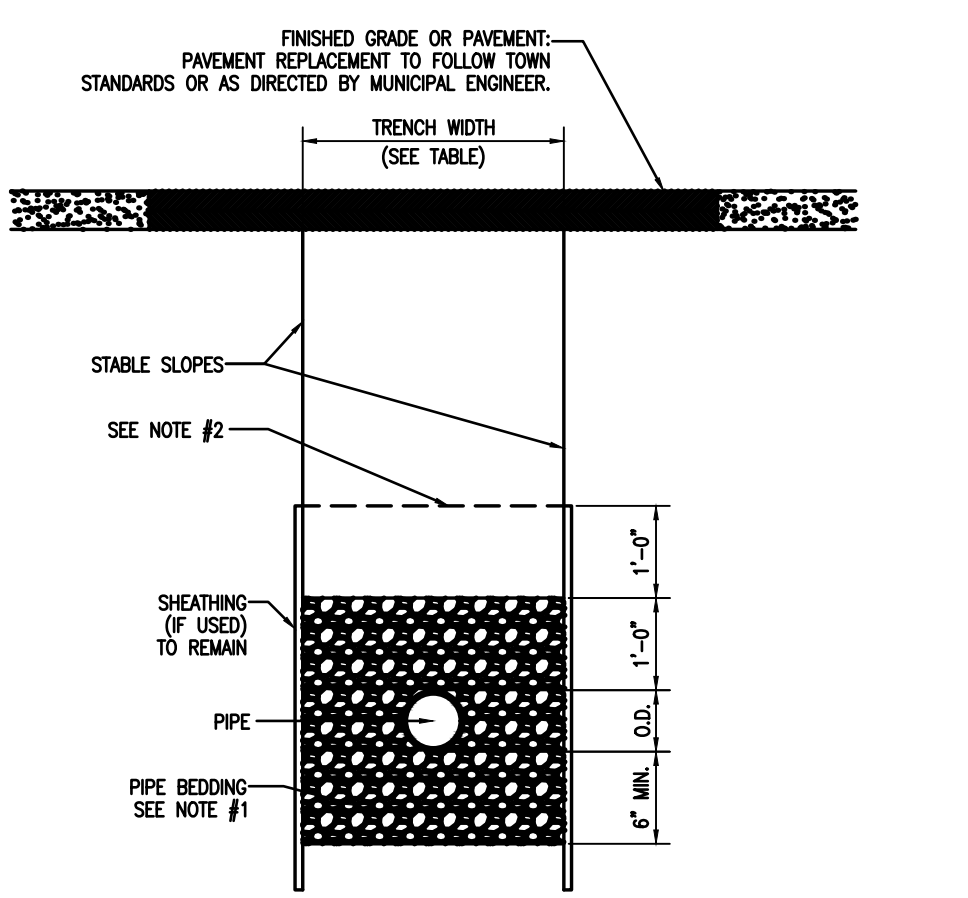
**WATER/SEWER SEPARATION REQUIREMENTS**  
NOT TO SCALE



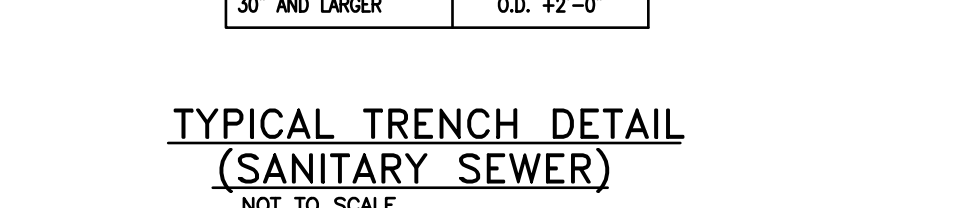
**BUILDING SEWER CLEAN-OUT DETAIL**  
NOT TO SCALE



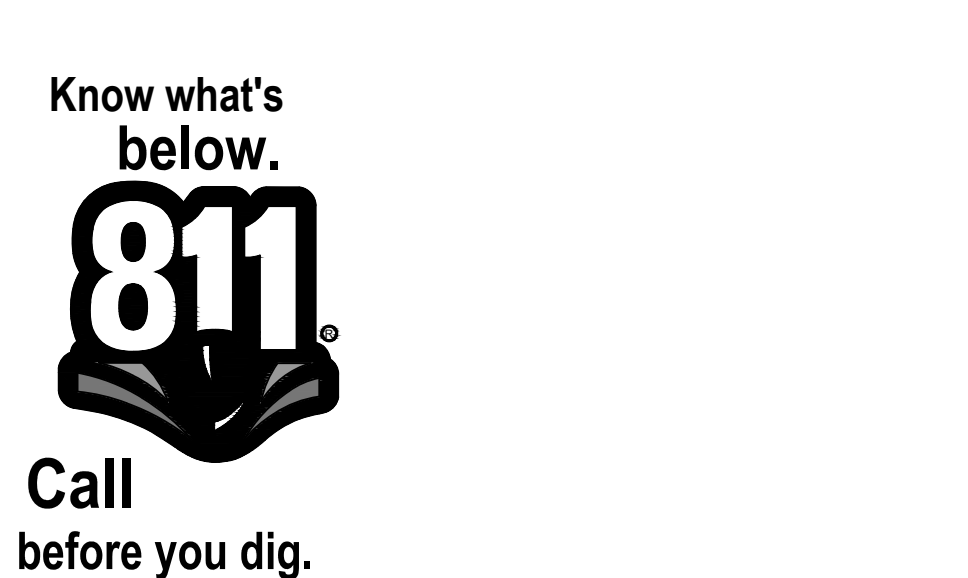
**TYPICAL TRENCH DETAIL (SANITARY SEWER)**  
NOT TO SCALE



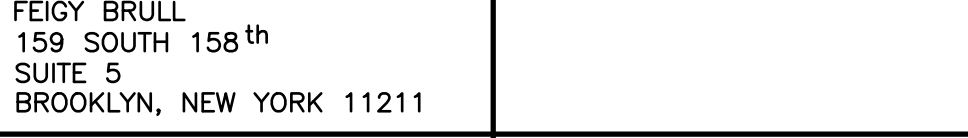
**CONCRETE SIDEWALK AT PARKING LOT ENTRANCE DETAIL**  
NOT TO SCALE



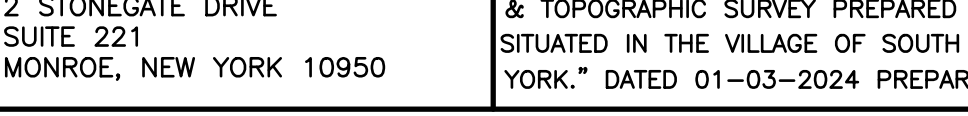
**SEWER MAIN CONNECTION DETAIL**  
NOT TO SCALE



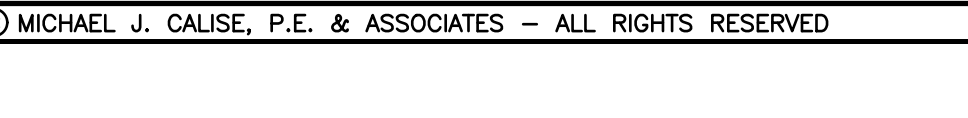
**SILT FENCE DETAIL**  
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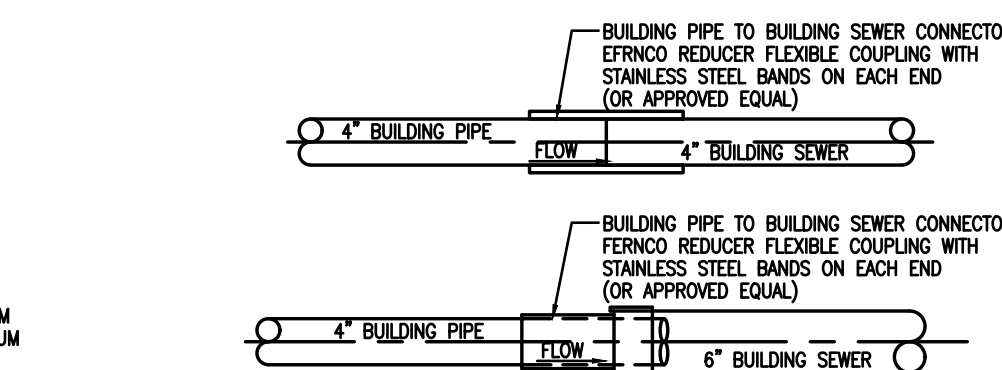
**HAY BALE DIKE DETAIL**  
NOT TO SCALE



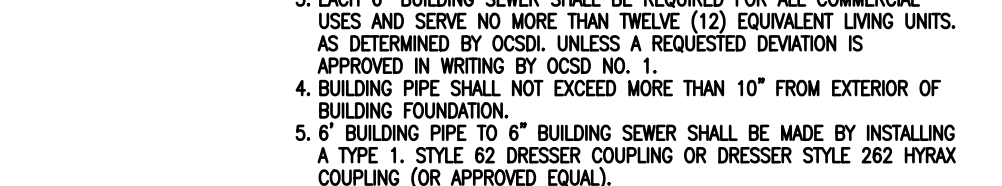
**ASPHALT DRIVEWAY DETAIL**  
NOT TO SCALE



**FOOTING DRAIN DETAIL**  
NOT TO SCALE



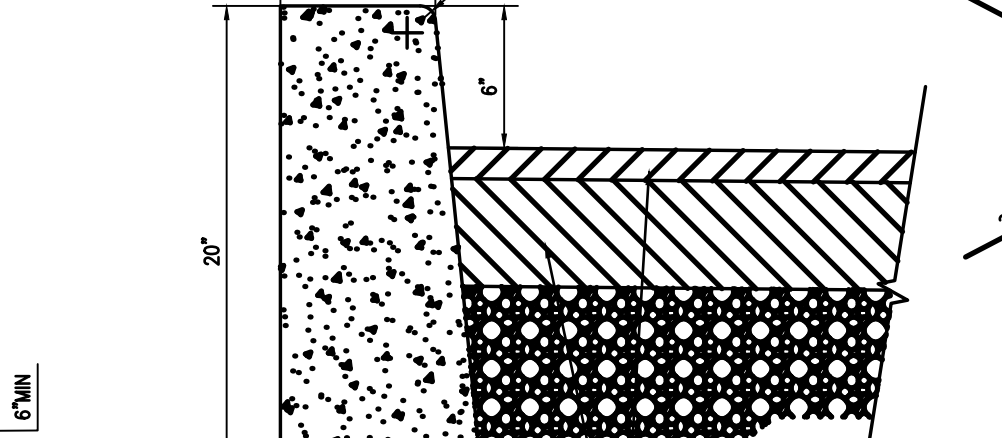
**BUILDING PIPE TO BUILDING SEWER CONNECTION**  
NOT TO SCALE



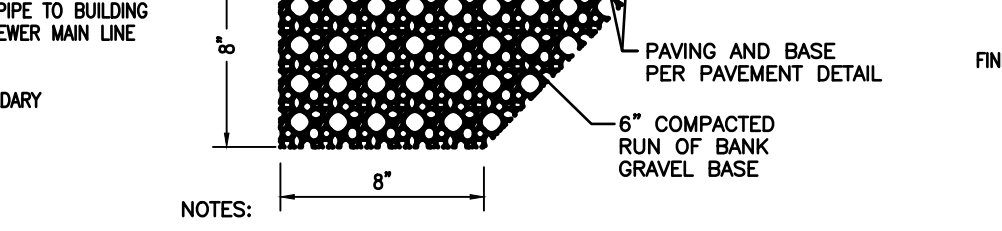
**Water Service Line**  
Scale: N.T.S.



**TYPICAL PAVEMENT SECTION PARKING LOTS & DRIVEWAYS**  
NOT TO SCALE



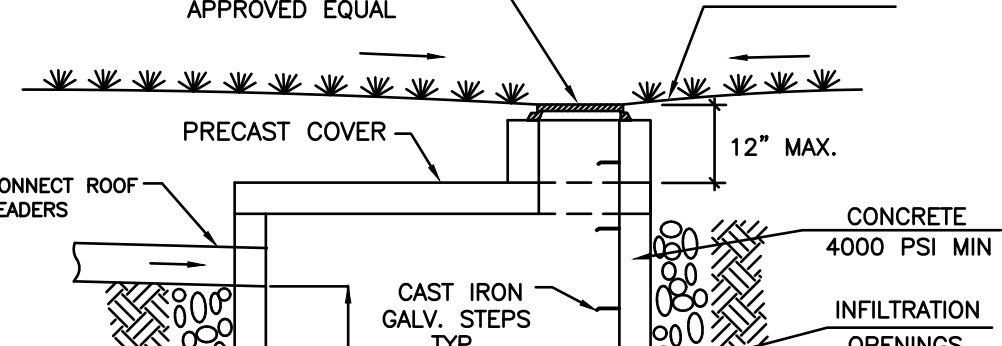
**CONCRETE CURB DETAIL (WITHIN SITE)**  
NOT TO SCALE



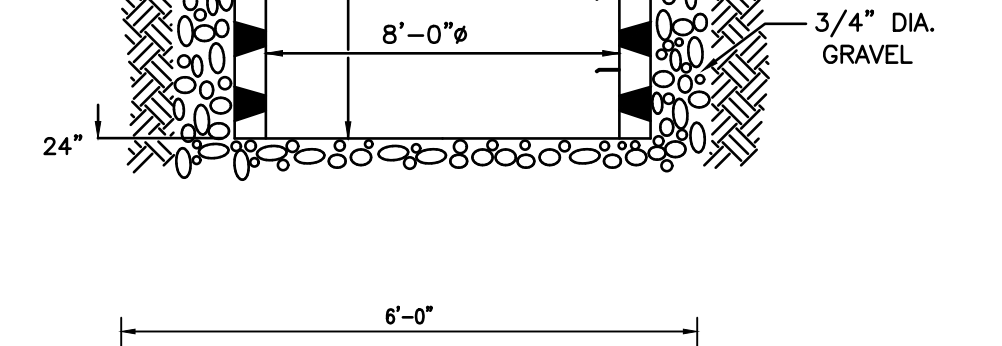
**SECTION**

COVER	PIPE
LESS THAN 4'-0"	CLASS 52 DUCTILE IRON OR CAST IRON EXTRA HEAVY OR APPROVED EQUAL

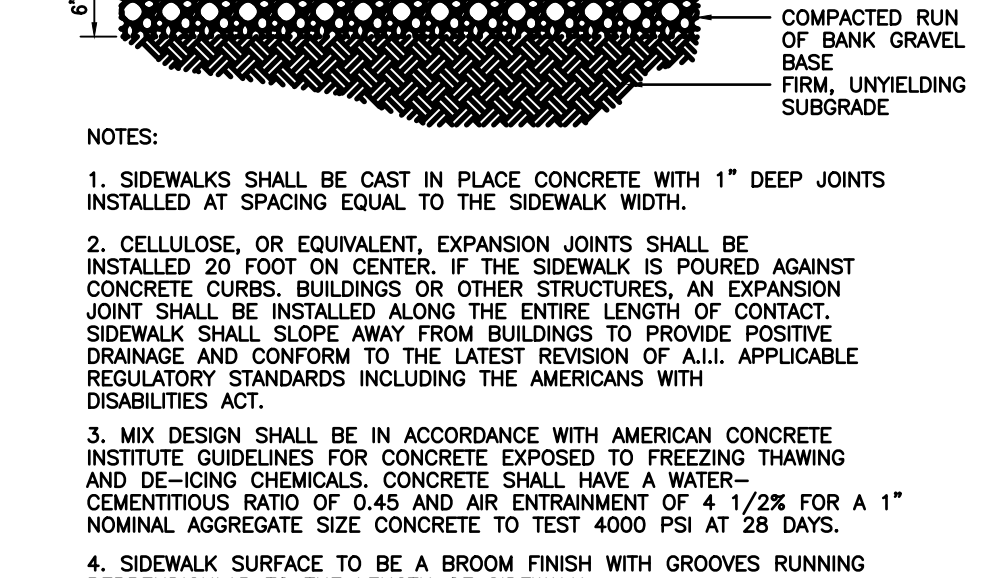
**SPECIAL CONDITIONS FOR SHALLOW TRENCH**



**PLAN**



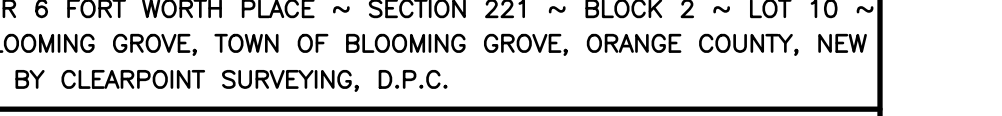
**SECTION**



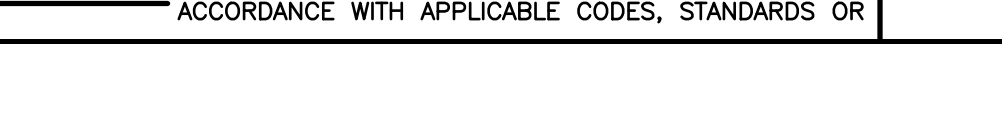
**PLAN**



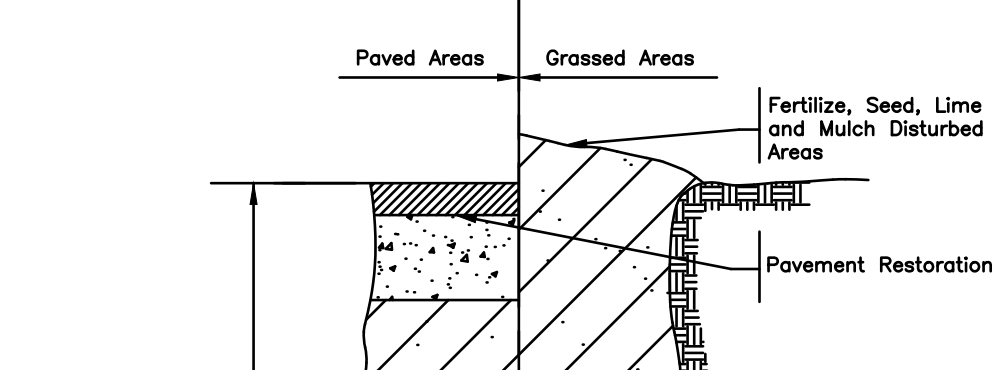
**SECTION**



**PLAN**



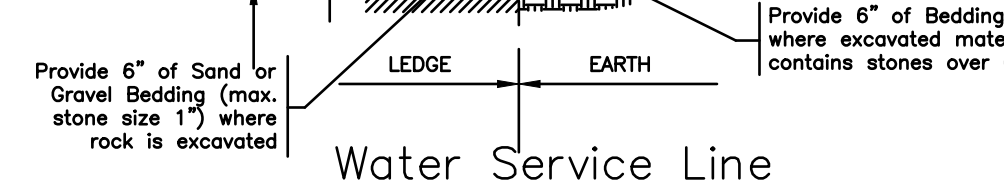
**SECTION**



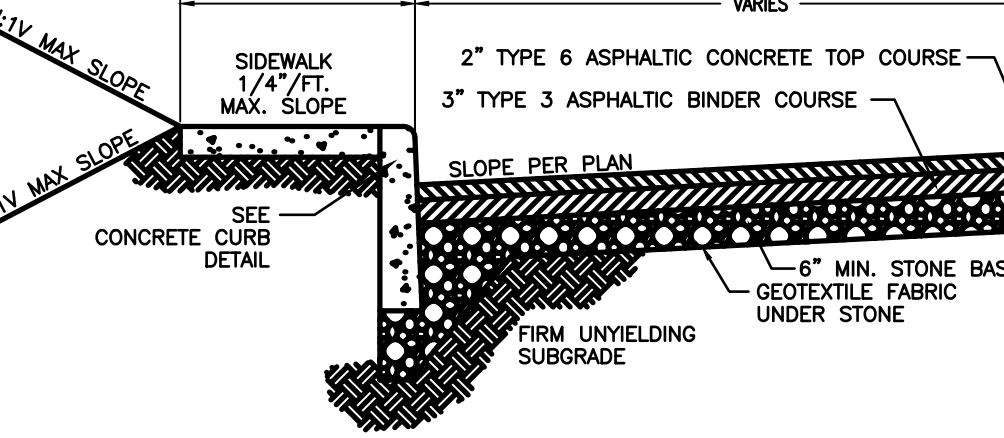
**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



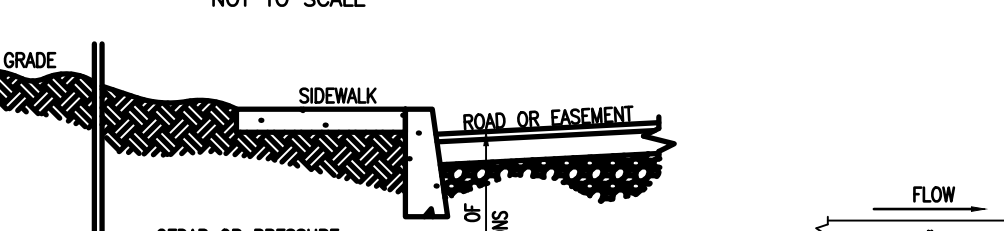
**PIPE BEDDING AND BACKFILL DETAIL**  
NOT TO SCALE



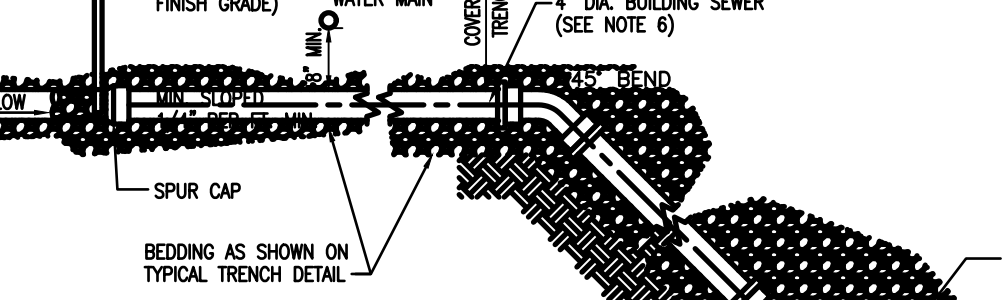
**BEDDING DETAIL**



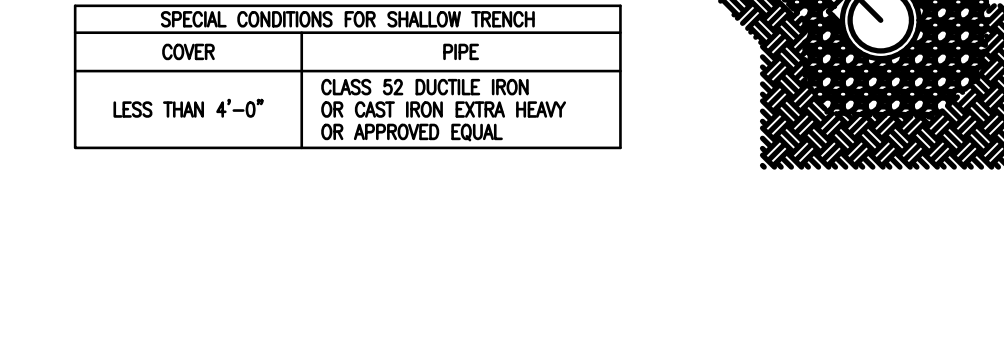
**ANCHORING DETAIL**



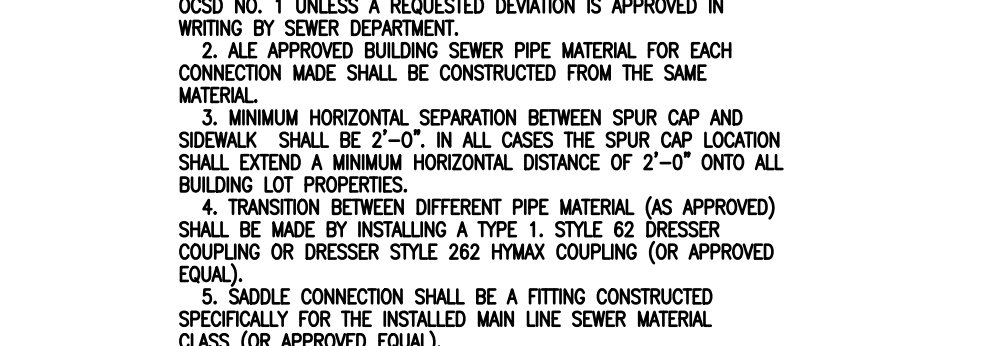
**CONSTRUCTION SPECIFICATIONS**



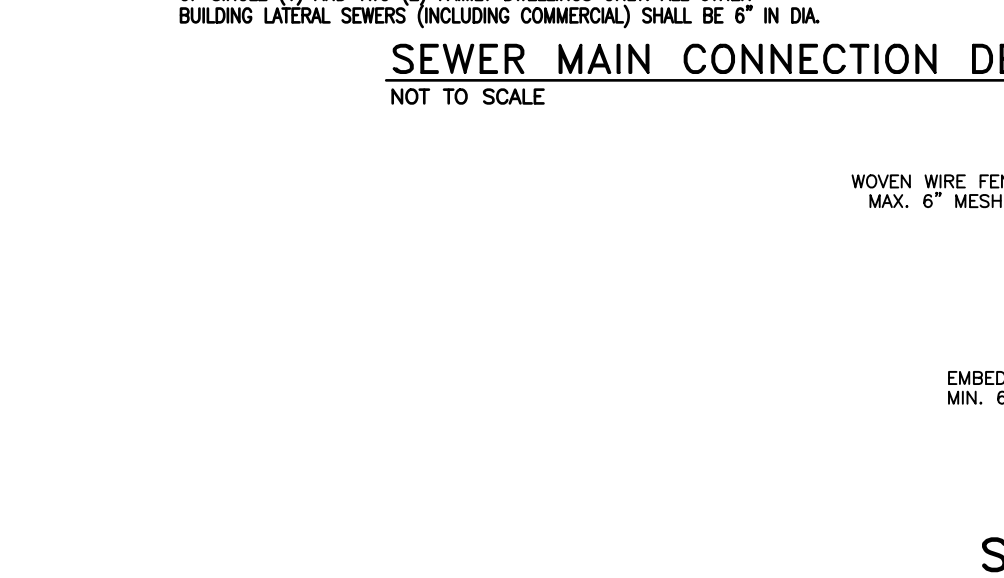
**ASPHALT DRIVEWAY DETAIL**  
NOT TO SCALE



**FOOTING DRAIN DETAIL**  
NOT TO SCALE



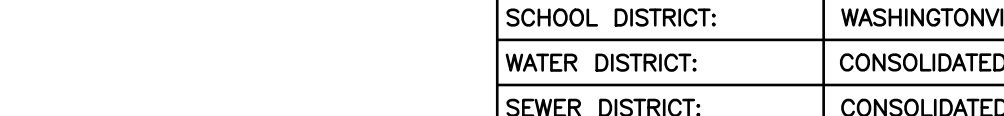
**FOOTING DRAIN DETAIL**  
NOT TO SCALE



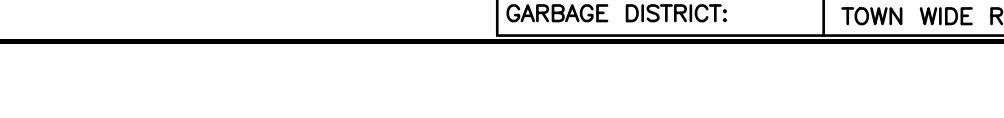
**FOOTING DRAIN DETAIL**  
NOT TO SCALE



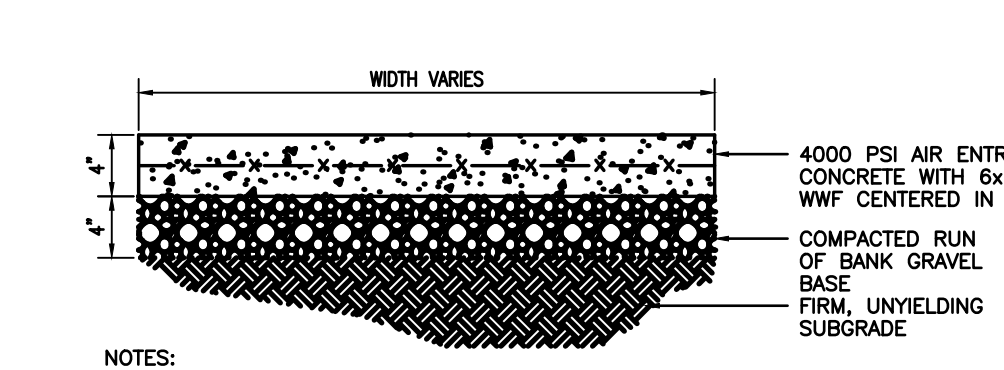
**FOOTING DRAIN DETAIL**  
NOT TO SCALE



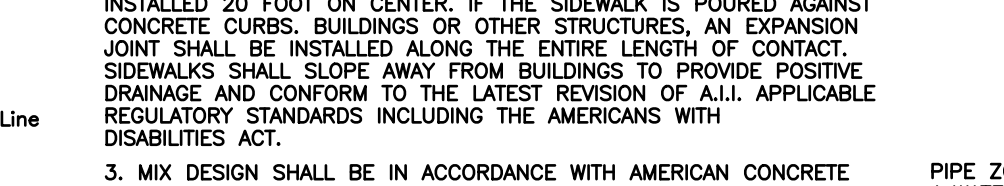
**FOOTING DRAIN DETAIL**  
NOT TO SCALE



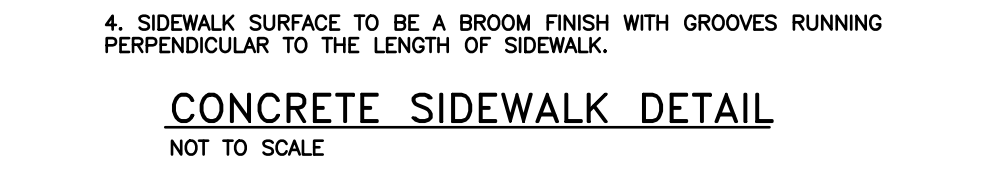
**FOOTING DRAIN DETAIL**  
NOT TO SCALE



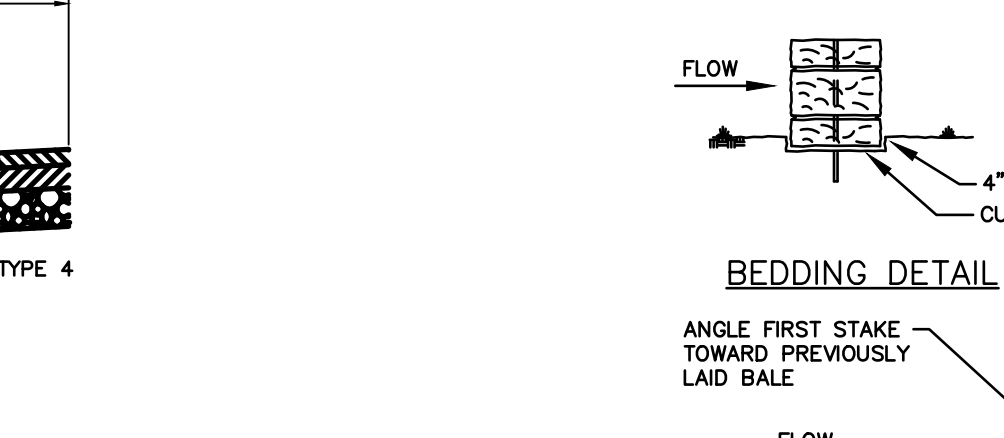
**DROP INLET PROTECTION**



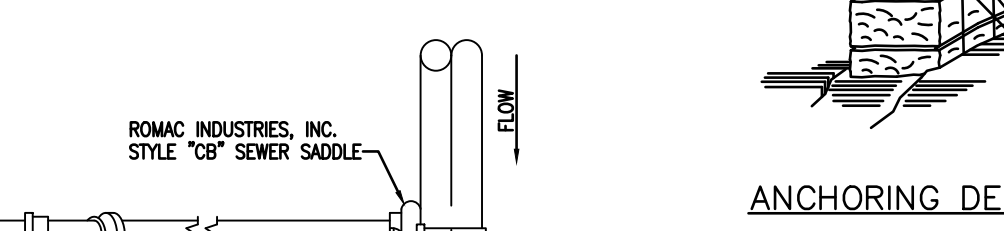
**CONSTRUCTION SPECIFICATIONS**



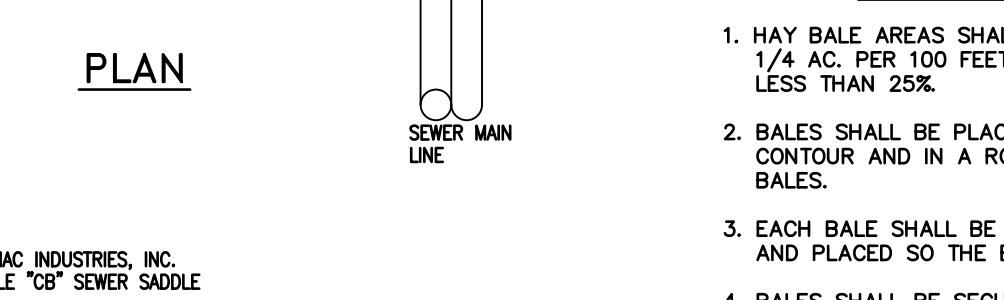
**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



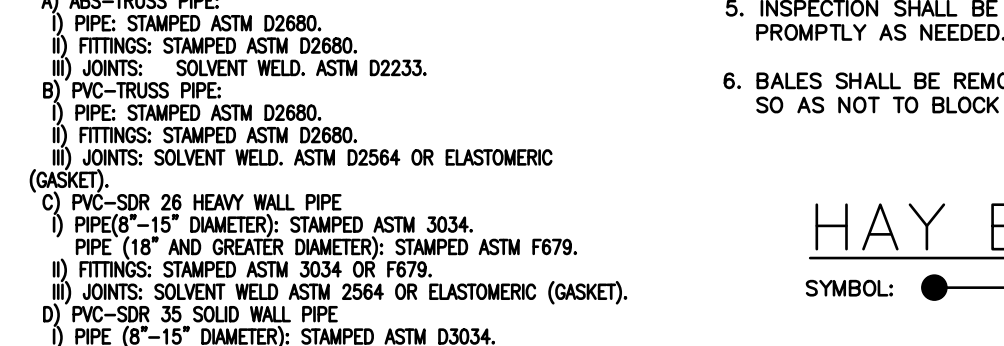
**PIPE BEDDING AND BACKFILL DETAIL**  
NOT TO SCALE



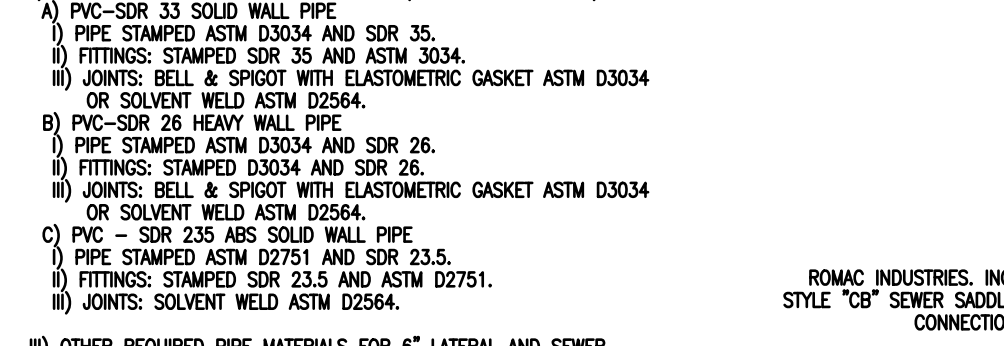
**BEDDING DETAIL**



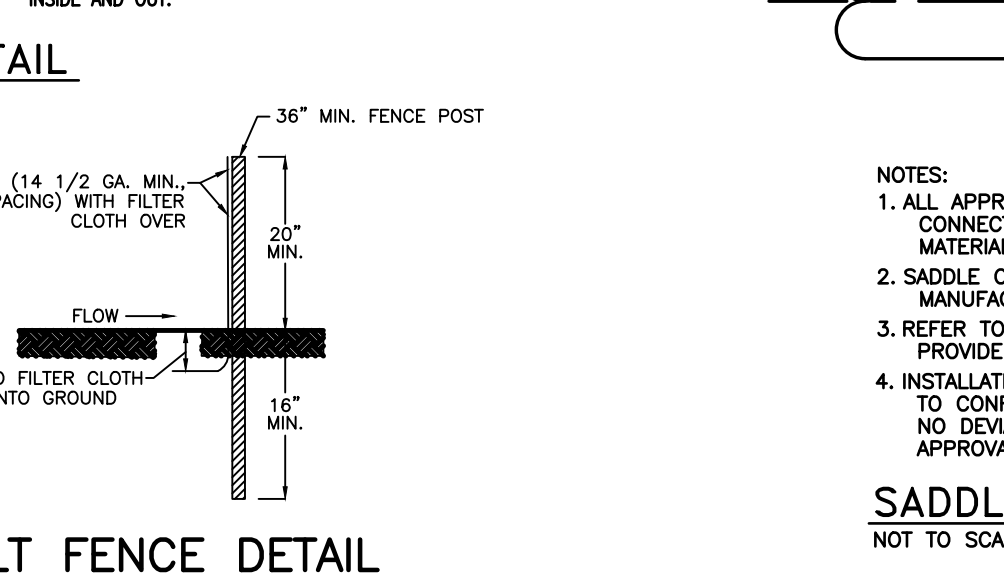
**ANCHORING DETAIL**



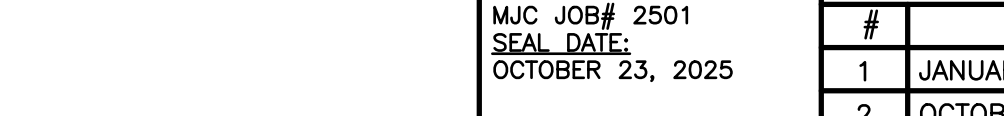
**CONSTRUCTION SPECIFICATIONS**



**ASPHALT DRIVEWAY DETAIL**  
NOT TO SCALE



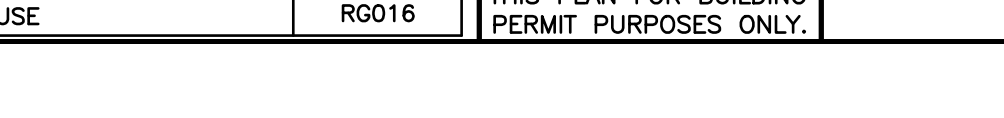
**FOOTING DRAIN DETAIL**  
NOT TO SCALE



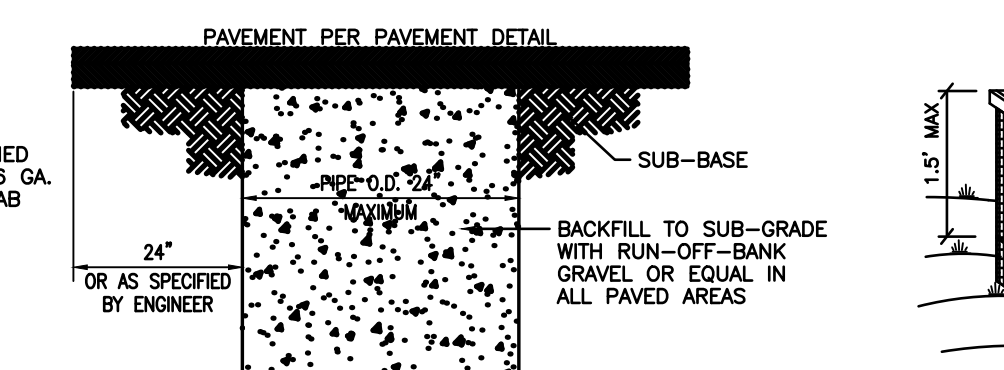
**FOOTING DRAIN DETAIL**  
NOT TO SCALE



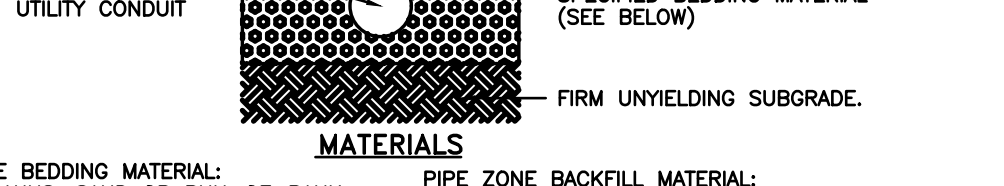
**FOOTING DRAIN DETAIL**  
NOT TO SCALE



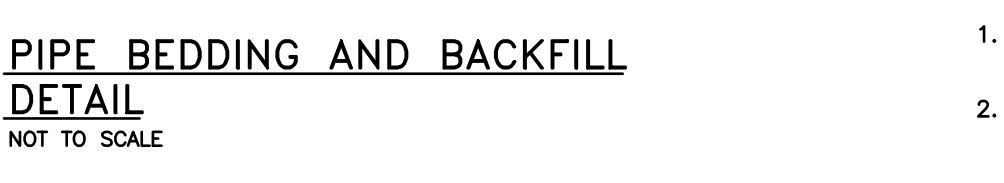
**FOOTING DRAIN DETAIL**  
NOT TO SCALE



**DROP INLET PROTECTION**



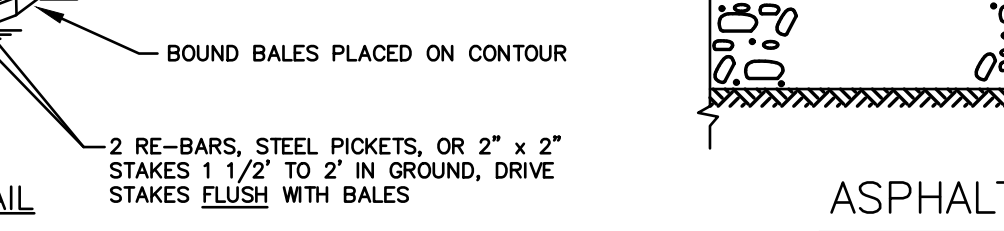
**CONSTRUCTION SPECIFICATIONS**



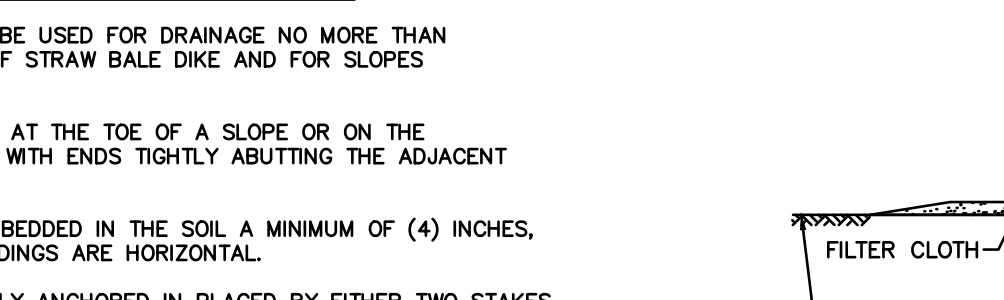
**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



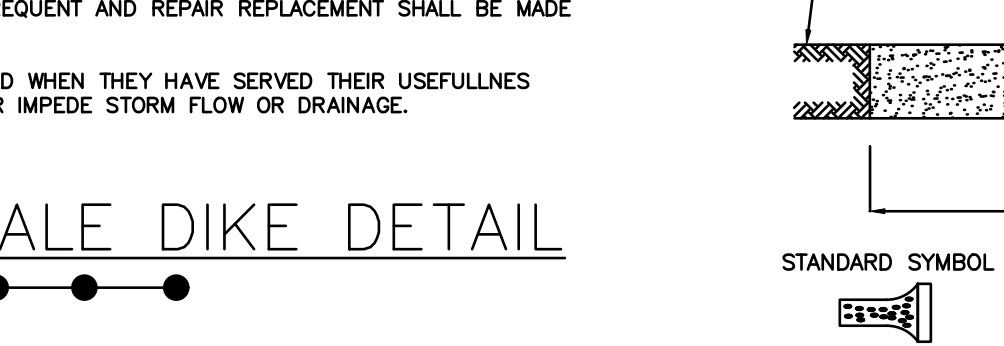
**PIPE BEDDING AND BACKFILL DETAIL**  
NOT TO SCALE



**BEDDING DETAIL**



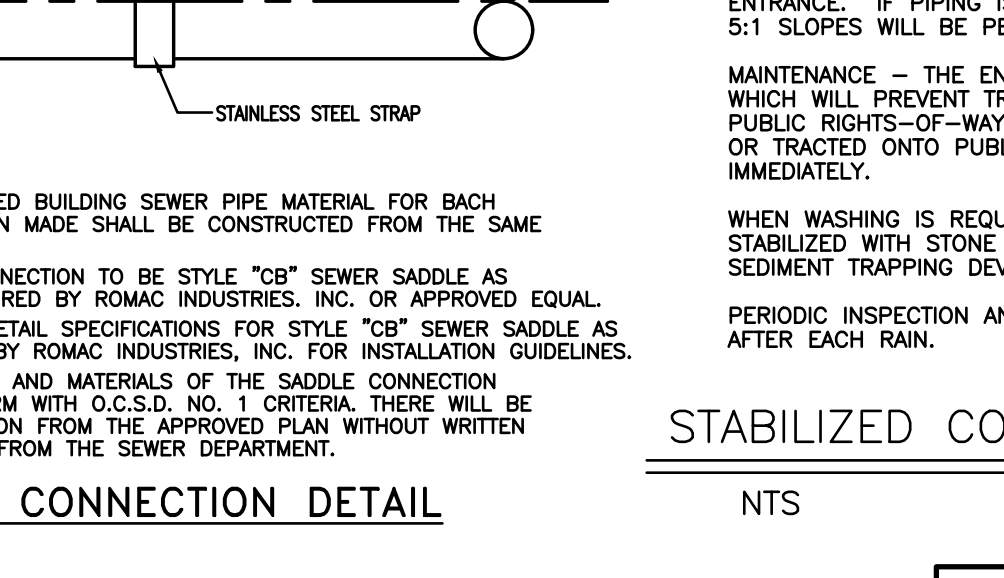
**ANCHORING DETAIL**



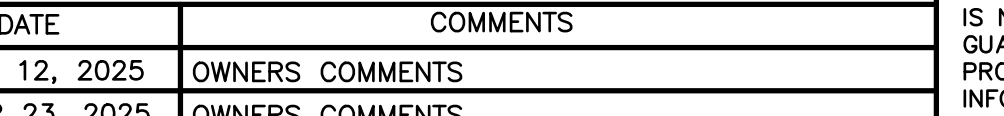
**CONSTRUCTION SPECIFICATIONS**



**ASPHALT DRIVEWAY DETAIL**  
NOT TO SCALE



**FOOTING DRAIN DETAIL**  
NOT TO SCALE



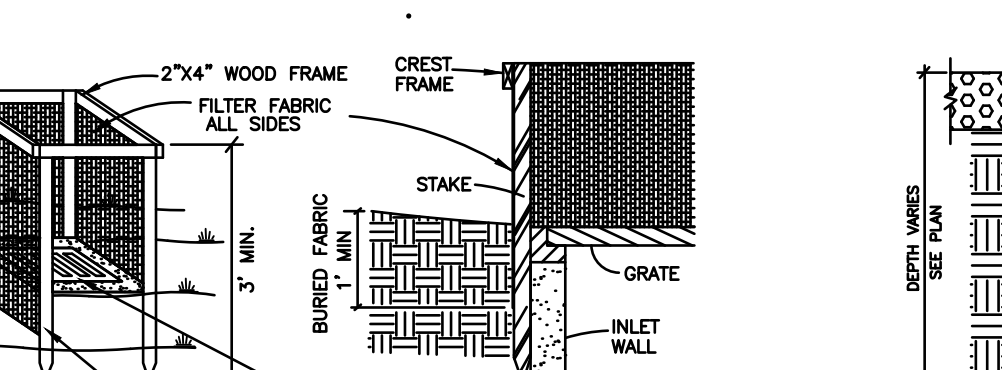
**FOOTING DRAIN DETAIL**  
NOT TO SCALE



**FOOTING DRAIN DETAIL**  
NOT TO SCALE



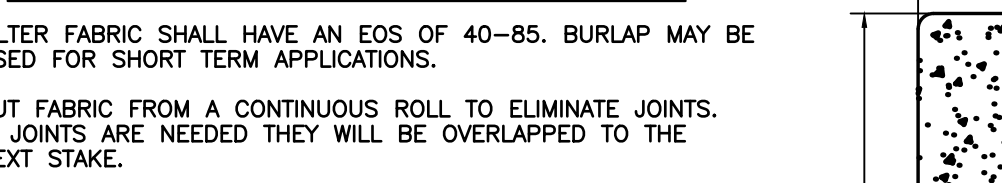
**FOOTING DRAIN DETAIL**  
NOT TO SCALE



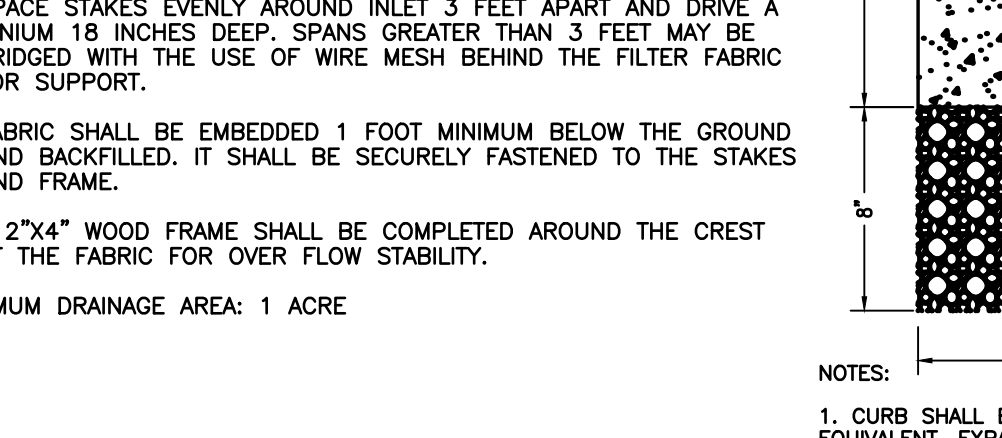
**DROP INLET PROTECTION**



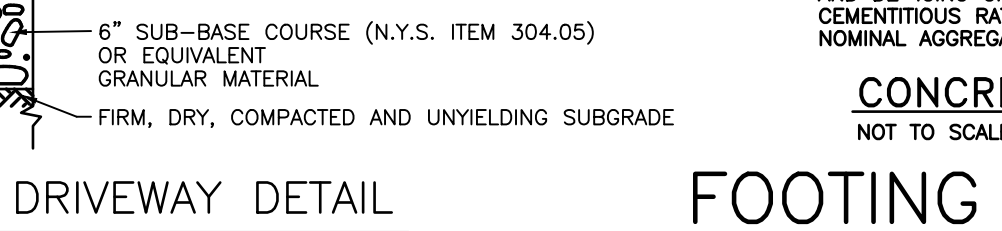
**CONSTRUCTION SPECIFICATIONS**



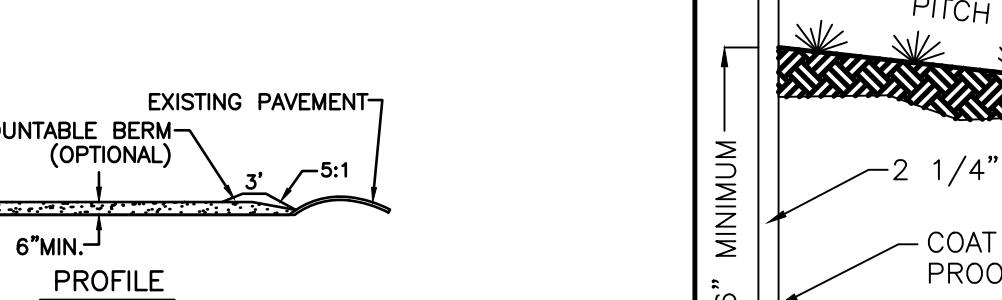
**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



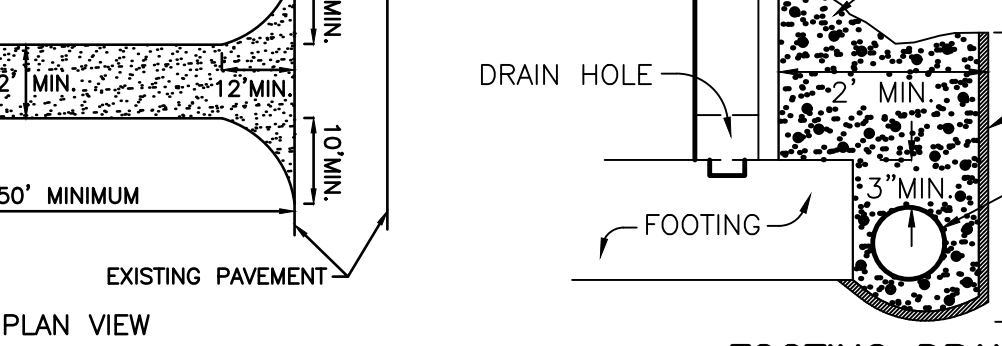
**PIPE BEDDING AND BACKFILL DETAIL**  
NOT TO SCALE



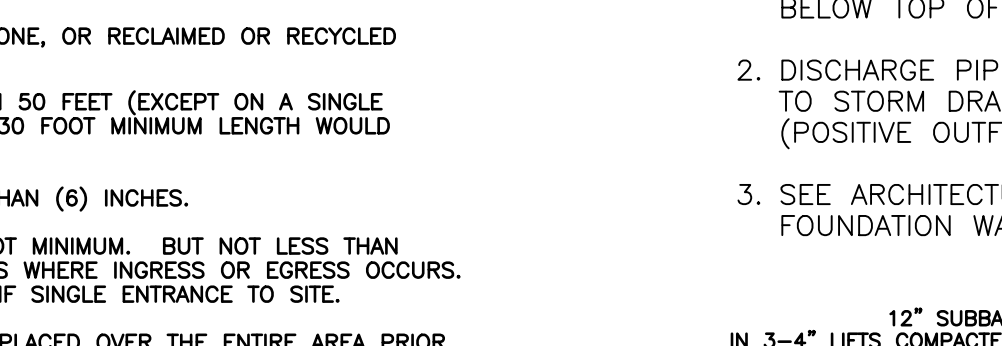
**BEDDING DETAIL**



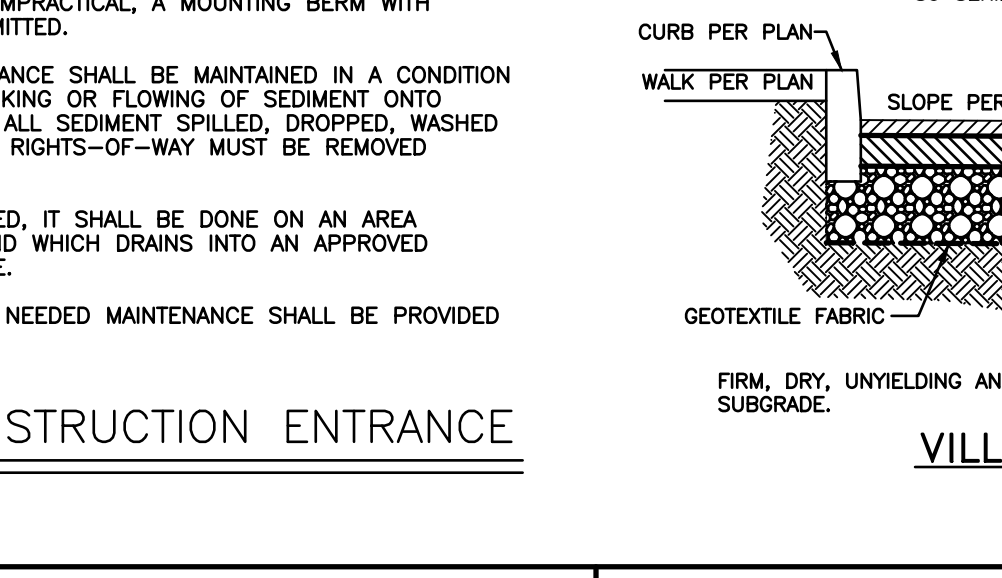
**ANCHORING DETAIL**



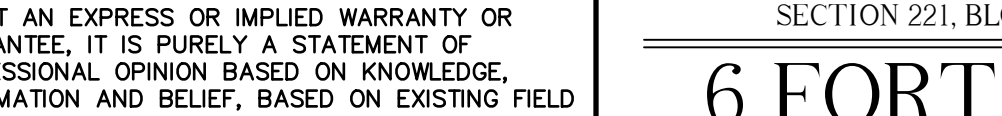
**CONSTRUCTION SPECIFICATIONS**



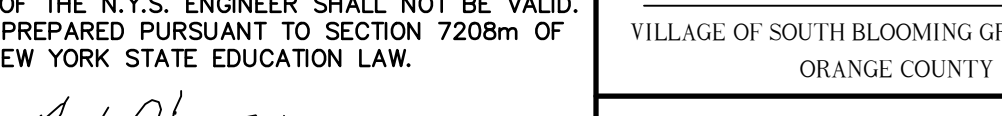
**ASPHALT DRIVEWAY DETAIL**  
NOT TO SCALE



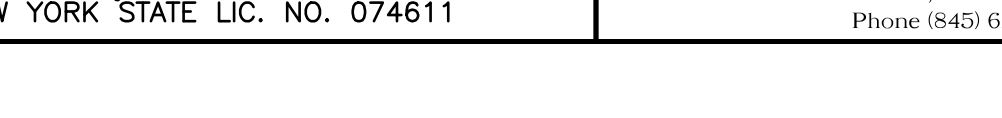
**FOOTING DRAIN DETAIL**  
NOT TO SCALE



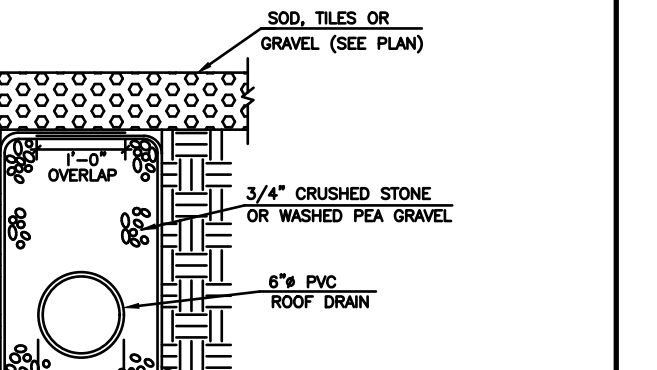
**FOOTING DRAIN DETAIL**  
NOT TO SCALE



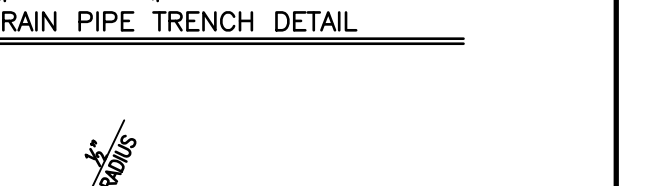
**FOOTING DRAIN DETAIL**  
NOT TO SCALE



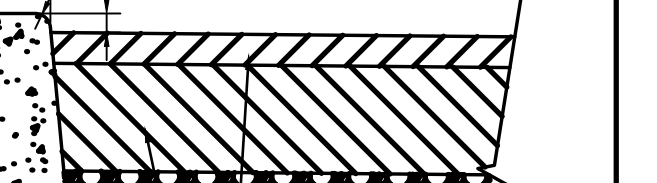
**FOOTING DRAIN DETAIL**  
NOT TO SCALE



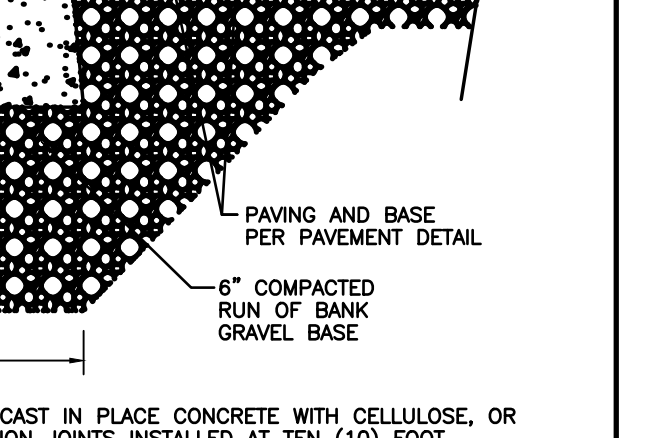
**DROP INLET PROTECTION**



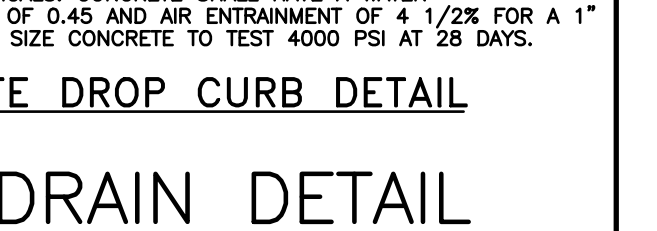
**CONSTRUCTION SPECIFICATIONS**



**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



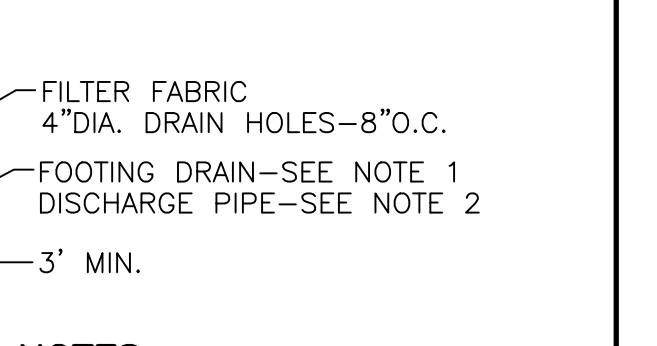
**PIPE BEDDING AND BACKFILL DETAIL**  
NOT TO SCALE



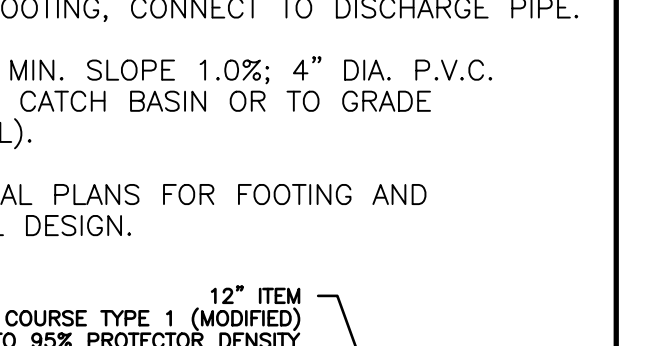
**BEDDING DETAIL**



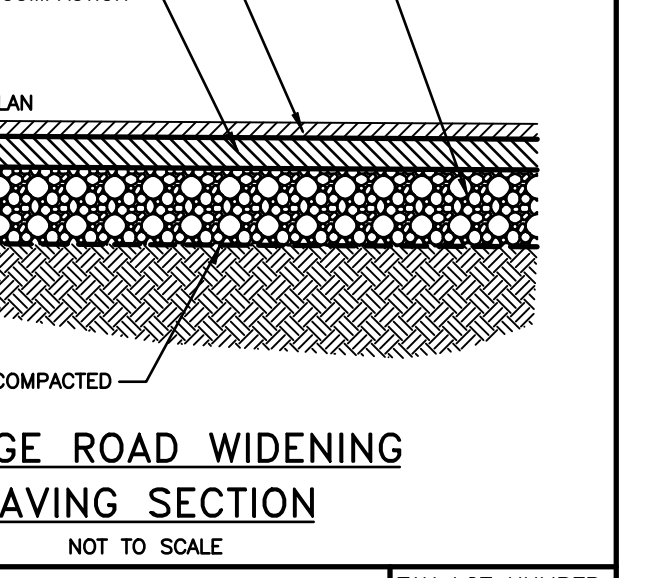
**ANCHORING DETAIL**



**CONSTRUCTION SPECIFICATIONS**



**ASPHALT DRIVEWAY DETAIL**  
NOT TO SCALE



**FOOTING DRAIN DETAIL**  
NOT TO SCALE



**FOOTING DRAIN DETAIL**  
NOT TO SCALE



**FOOTING DRAIN DETAIL**  
NOT TO SCALE



**FOOTING DRAIN DETAIL**  
NOT TO SCALE

Know what's below.

Call before you dig.

**OWNERS:**  
FEIGY BRULL  
159 SOUTH 158<sup>th</sup>  
SUITE 5  
BROOKLYN, NEW YORK 11211

**APPLICANT:**  
DILIGENT DEVELOPERS NY  
2 STONEGATE DRIVE  
SUITE 221  
MONROE, NEW YORK 10950

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**BOUNDARY AND TOPOGRAPHIC SURVEY REFERENCE:**  
BOUNDARY AND TOPOGRAPHIC REFERENCE INFORMATION SHOWN TAKEN FROM A MAP ENTITLED "OUTBOUND & TOPOGRAPHIC SURVEY PREPARED FOR 6 FORT WORTH PLACE ~ SECTION 221 ~ BLOCK 2 ~ LOT 10 ~ SITUATED IN THE VILLAGE OF SOUTH BLOOMING GROVE, TOWN OF BLOOMING GROVE, ORANGE COUNTY, NEW YORK," DATED 01-03-2024 PREPARED BY CLEARPOINT SURVEYING, D.P.C.

**CONCRETE SIDEWALK AT PARKING LOT ENTRANCE DETAIL**  
NOT TO SCALE

**SEWER MAIN CONNECTION DETAIL**  
NOT TO SCALE

**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE

**PIPE BEDDING AND BACKFILL DETAIL**  
NOT TO SCALE

**BEDDING DETAIL**

**ANCHORING DETAIL**

**CONSTRUCTION SPECIFICATIONS**

**ASPHALT DRIVEWAY DETAIL**  
NOT TO SCALE

**FOOTING DRAIN DETAIL**  
NOT TO SCALE

**FOOTING DRAIN DETAIL**  
NOT TO SCALE

**FOOTING DRAIN DETAIL**  
NOT TO SCALE

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**FOOTING DRAIN DETAIL**  
NOT TO SCALE

**FOOTING DRAIN DETAIL**  
NOT TO SCALE

**FOOTING DRAIN DETAIL**  
NOT TO SCALE

**DISTRICTS:**

TYPE	NAME	ALARM No.
FIRE DISTRICT:	SOUTH BLOOMING GROVE FIRE DISTRICT	FD039
SCHOOL DISTRICT:	WASHINGTONVILLE	484601
WATER DISTRICT:	CONSOLIDATED WATER DISTRICT CAP	WD051
SEWER DISTRICT:	CONSOLIDATED SEWER DISTRICT #1	SW094
SEWER TREATMENT PLANT:	HARRIMAN TREATMENT PLANT EXP.	SW102
AMBULANCE DISTRICT:	BLOOMING GROVE AMBULANCE	AM002
GARBAGE DISTRICT:	TOWN WIDE REFUSE	RG016

**SILT FENCE DETAIL**  
NOT TO SCALE

**HAY BALE DIKE DETAIL**  
NOT TO SCALE

**ASPHALT DRIVEWAY DETAIL**  
NOT TO SCALE

**FOOTING DRAIN DETAIL**  
NOT TO SCALE

**FOOTING DRAIN DETAIL**  
NOT TO SCALE

**FOOTING DRAIN DETAIL**  
NOT TO SCALE

**FOOTING DRAIN DETAIL**  
NOT TO SCALE

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NOT TO SCALE

**FOOTING DRAIN DETAIL**  
NOT TO SCALE

**FOOTING DRAIN DETAIL**  
NOT TO SCALE

