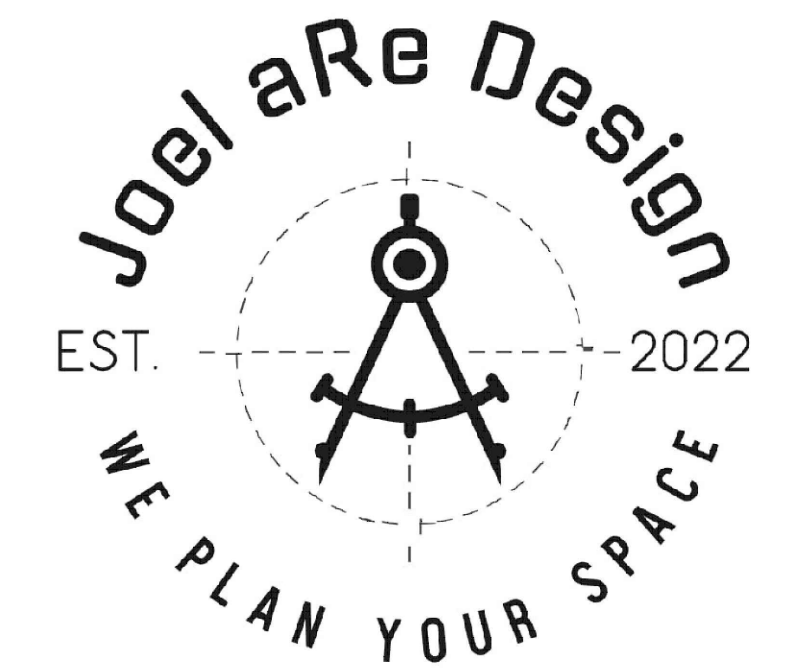


PROPOSED 4 RESIDENTIAL UNITS FOR
327 LAKE SHORE DR LLC
327 LAKE SHORE DRIVE. VILLAGE OF SOUTH BLOOMING GROVE
ORANGE COUNTY, NEW YORK.

RELEASED BY:

SEP./ 07 / 2025



INDEX.

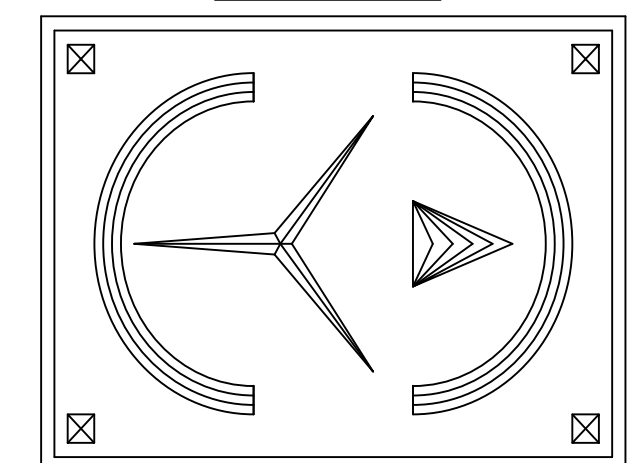
- A1 - FOUNDATION PLAN.
- A2 - BASEMENT FLOOR PLAN.
- A3 - FIRST FLOOR PLAN.
- A4 - SECOND FLOOR PLAN.
- A5 - ROOF PLAN.
- A6 - SECTIONS.
- A7 - DETAILS.
- A8 - GENERAL NOTES.
- A9 - ELECTRIC PLANS.
- A10 - ELECTRIC PLANS & PLUMBING DIAGRAM.
- A11/12 - ELEVATIONS.

REVISIONS

- 09/17/25 AS PER GC
- 11/10/25 AS PER OWNER
- 11/25/25 AS PER OWNER

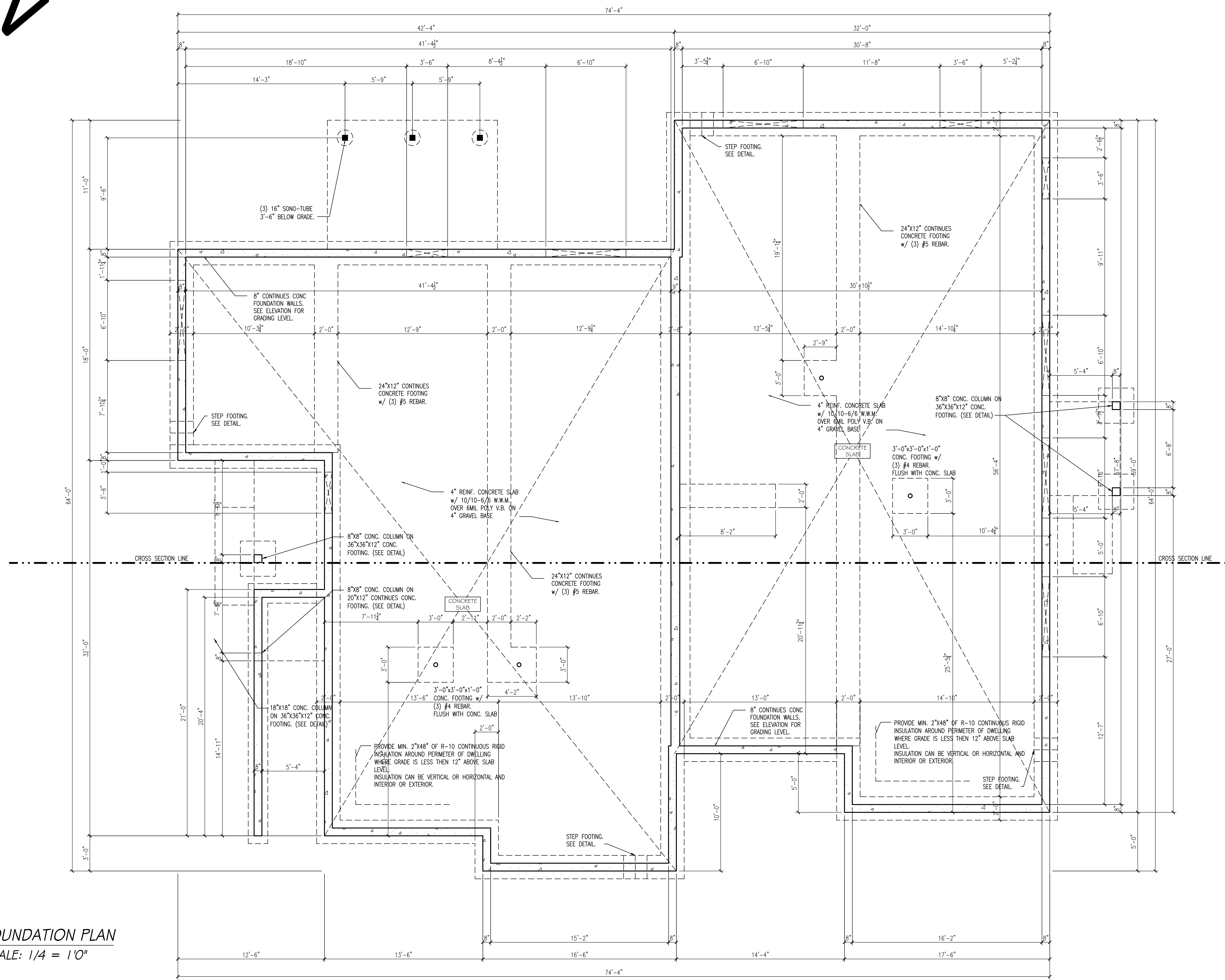
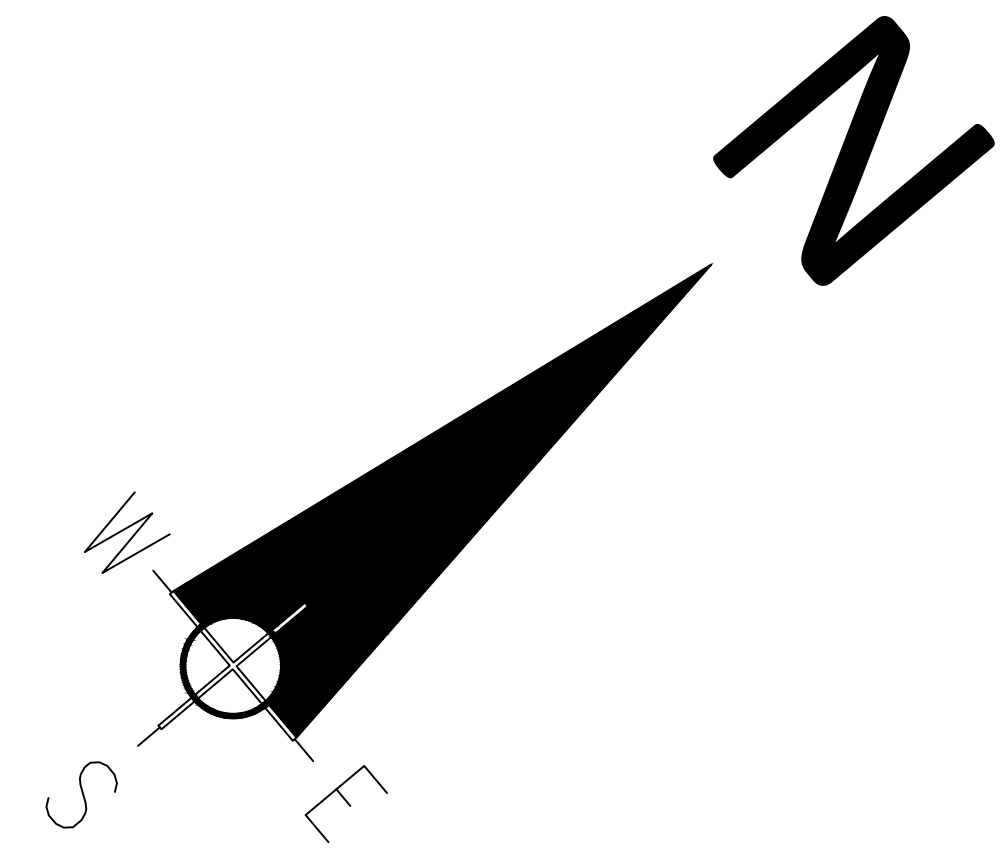
PLAN@JOELAREDESIGN.COM
845-492-6126

ERIC KNUTE OSBORN
ARCHITECT



58 BARNES ROAD
WASHINGTONVILLE, N.Y. 10992 - (845) 629-7474
EMAIL - EKOSBORNARCHITECT@GMAIL.COM
N.Y. LIC. #021-585

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WALL LEGEND	
	CONSTRUCTION WALL
	LOAD BEARING WALL
	CONCRETE WALL
	1/2 WALL ON CONC.
	POST IN WALL
	JOIST/GIRDER w/ JOIST HANGER
	POST ABOVE

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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N.Y. LIC. #0219585

PLANS PREPARED & ASSOCIATION WITH:

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845-492-6126

REVISIONS.

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PROJECT.
PROPOSED ONE 4
RESIDENTIAL UNITS FOR
**327 LAKE SHORE
DR LLC**
VILLAGE OF SOUTH
BLOOMING GROVE
ORANGE COUNTY N.Y.

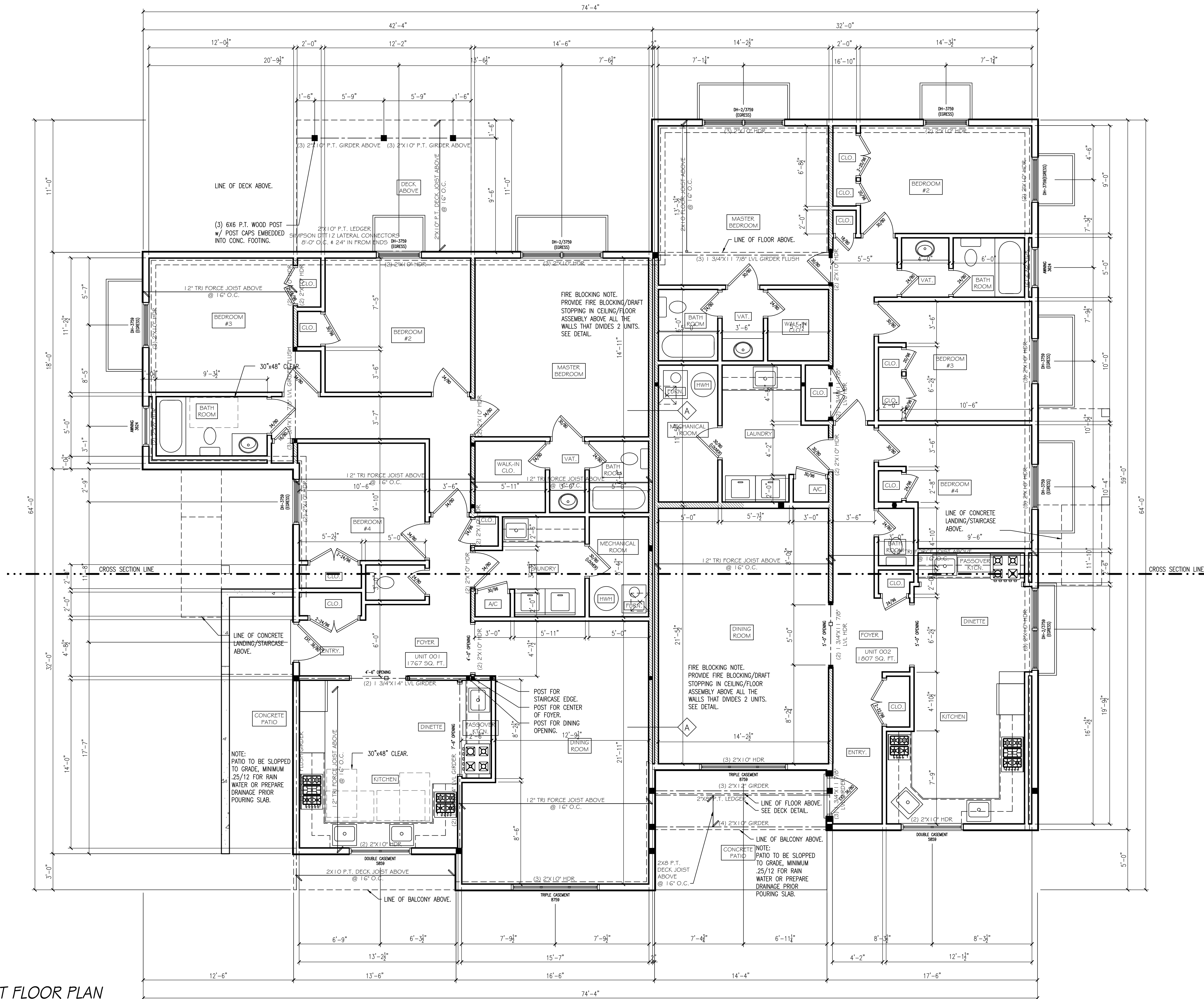
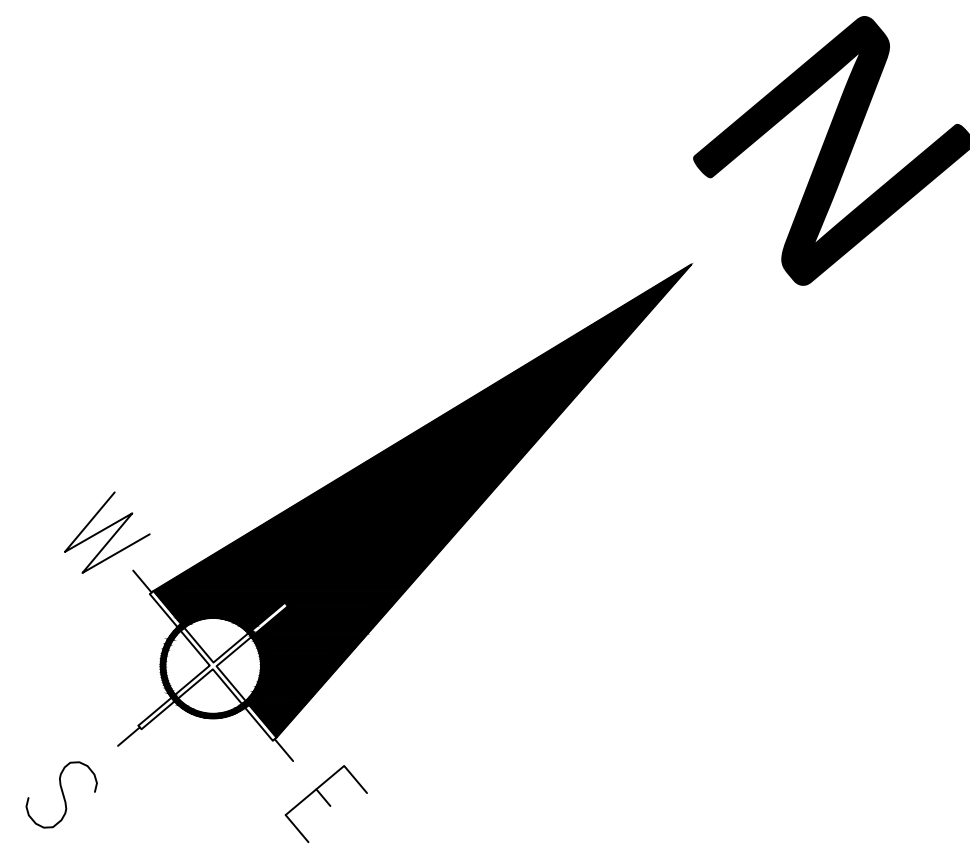
DATE. 07/03/2025
DRAWN. J.R.
PROJECT #. 7325
SCALE. AS NOTED
SHEET TITLE.

FOUNDATION PLAN

PLANS SUPERVISED
AND REVIEWED BY:

ERIC K. OSBORN, R.A.

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WALL LEGEND	
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	POST IN WALL
	JOIST/GIRDER w/ JOIST HANGER
	POST ABOVE

BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'0"

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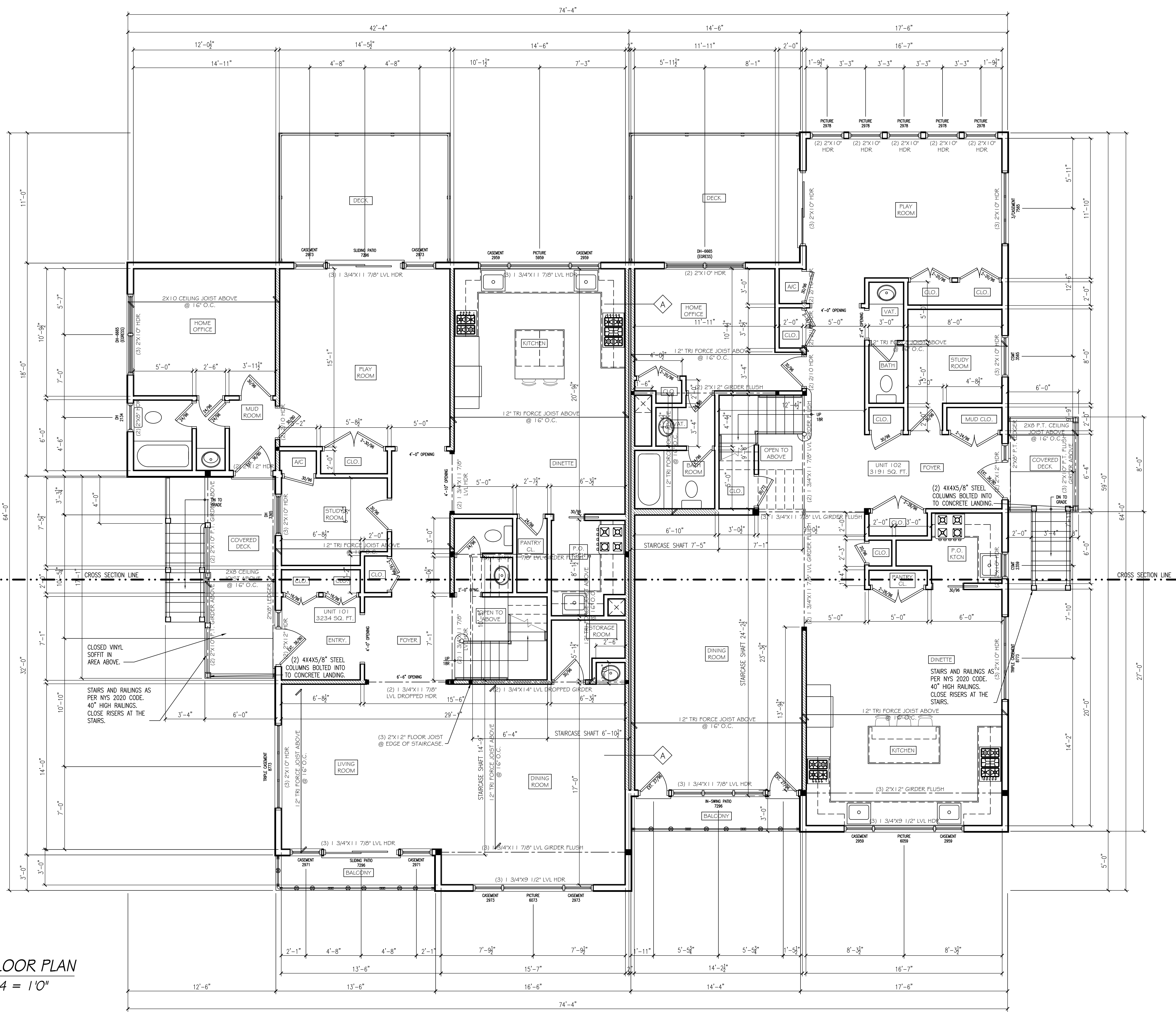
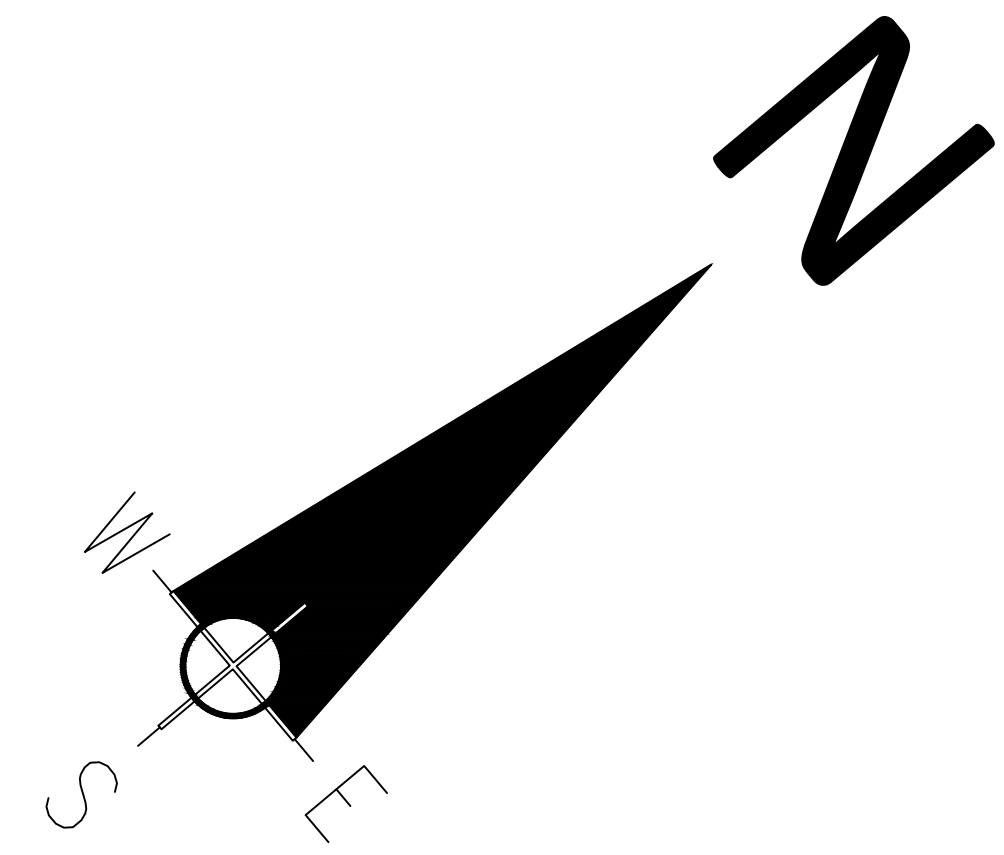
DATE. 07/03/2025
DRAWN. J.R.
PROJECT #. 7325
SCALE. AS NOTED
SHEET TITLE.

**BASEMENT FLOOR
PLAN**

PLANS SUPERVISED
AND REVIEWED BY:

ERIC K. OSBORN, R.A.
2 OF 13

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	JOIST/GIRDER w/ JOIST HANGER
	POST ABOVE

FIRST FLOOR PLAN
SCALE: 1/4" = 1'0"

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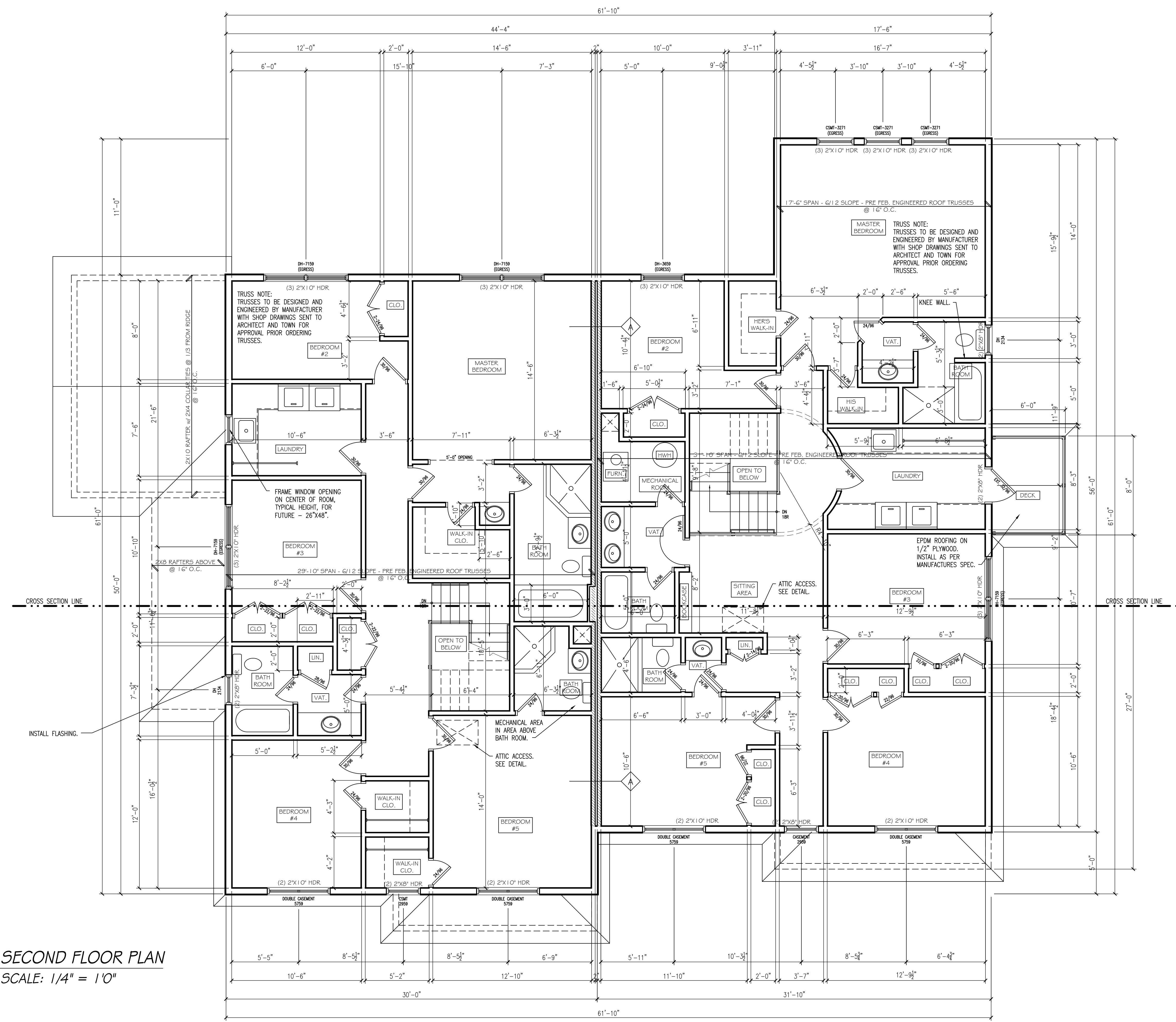
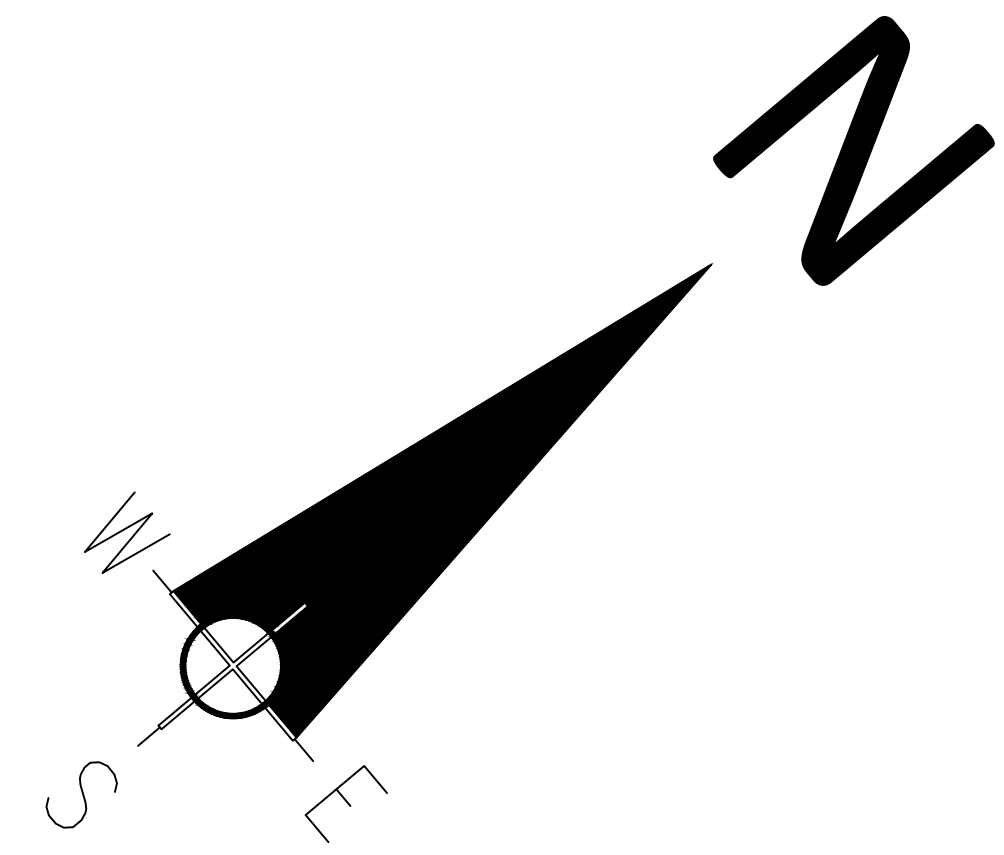
DATE. 07/03/2025
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PROJECT #. 7325
SCALE. AS NOTED
SHEET TITLE.

FIRST FLOOR PLAN

PLANS SUPERVISED
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3 OF 13

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	POST ABOVE

SECOND FLOOR PLAN
SCALE: 1/4" = 1'0"

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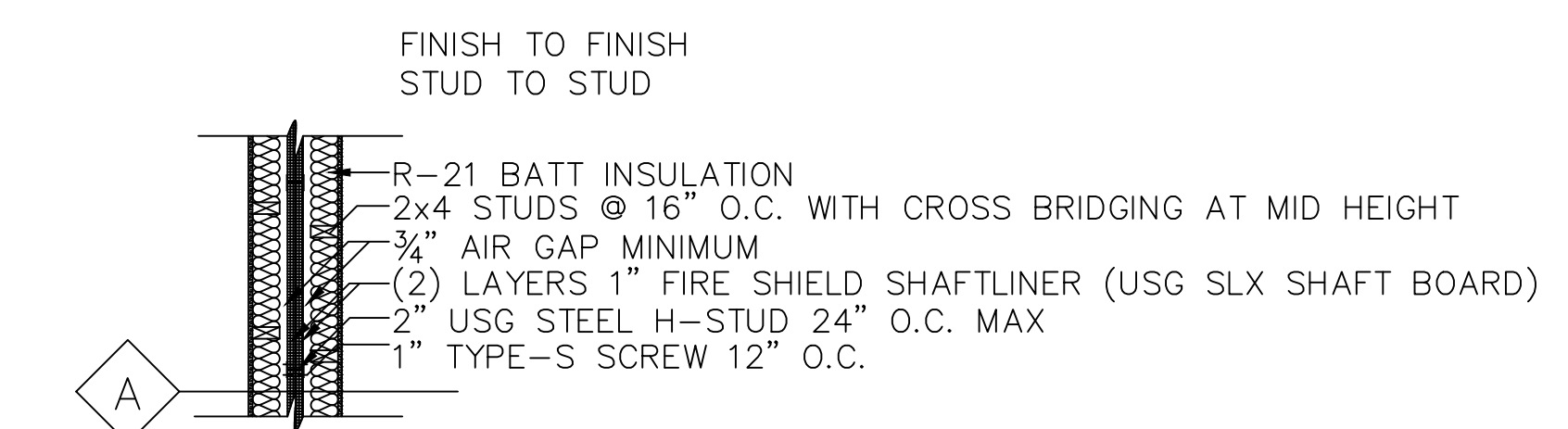
DATE. 07/03/2025
DRAWN. J.R.
PROJECT #. 7325
SCALE. AS NOTED
SHEET TITLE.

SECOND FLOOR PLAN

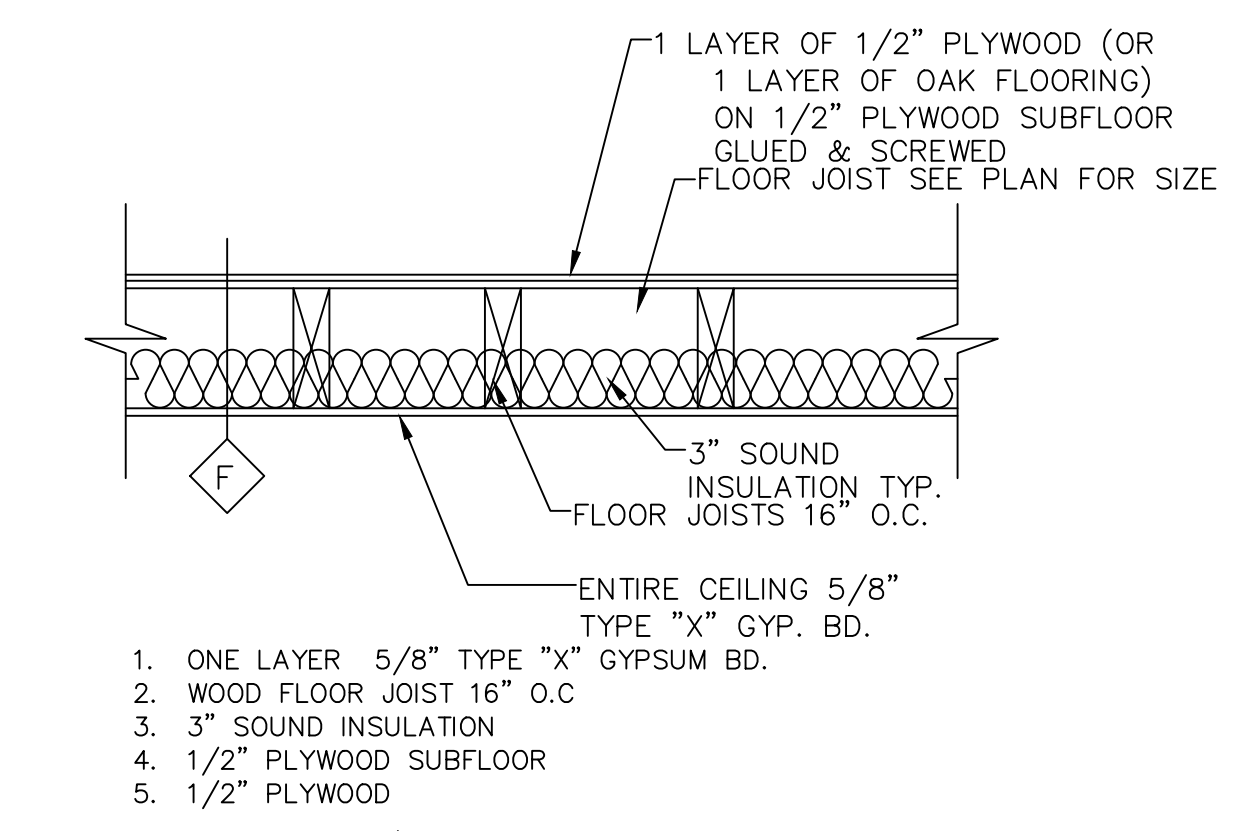
PLANS SUPERVISED
AND REVIEWED BY:

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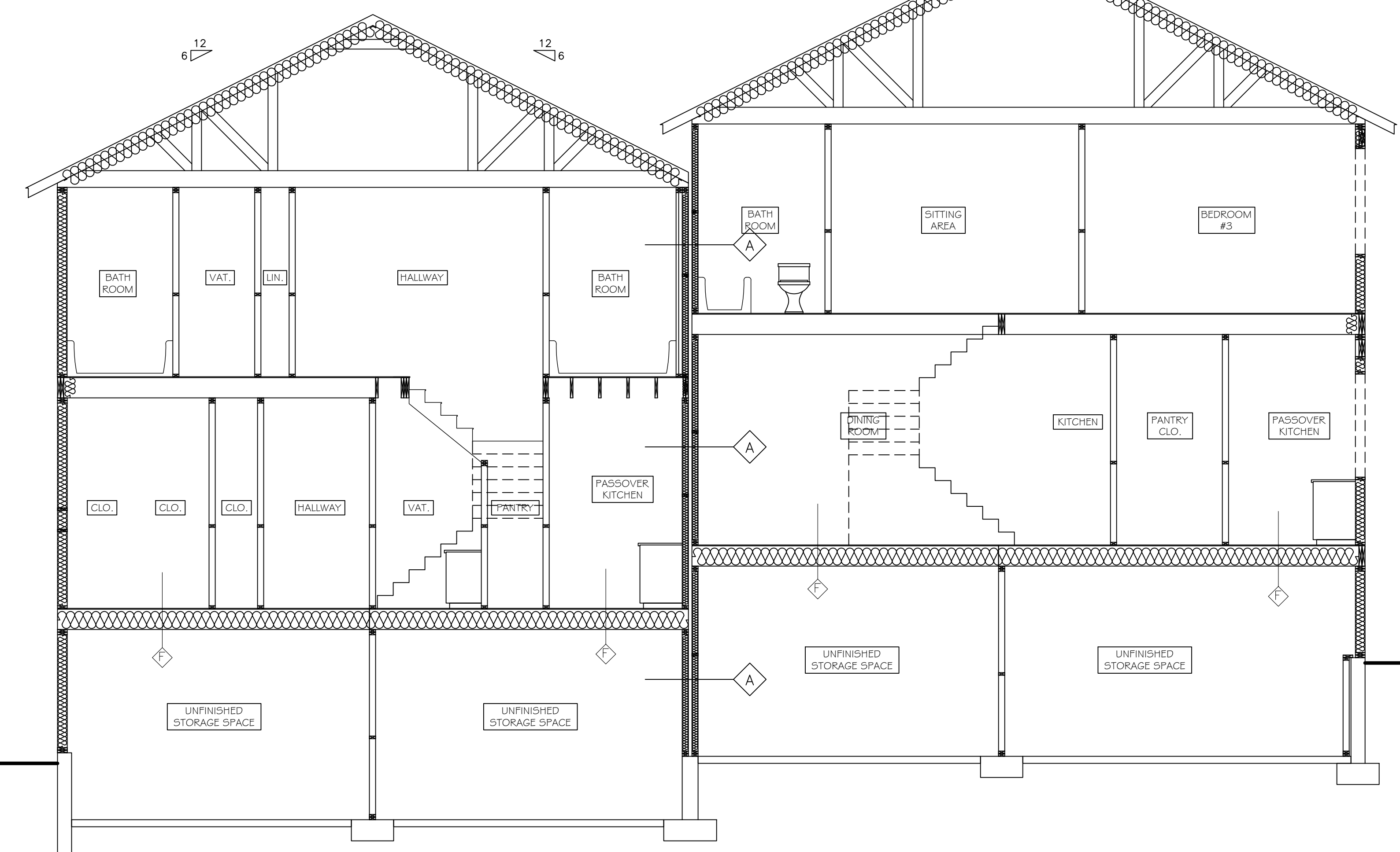
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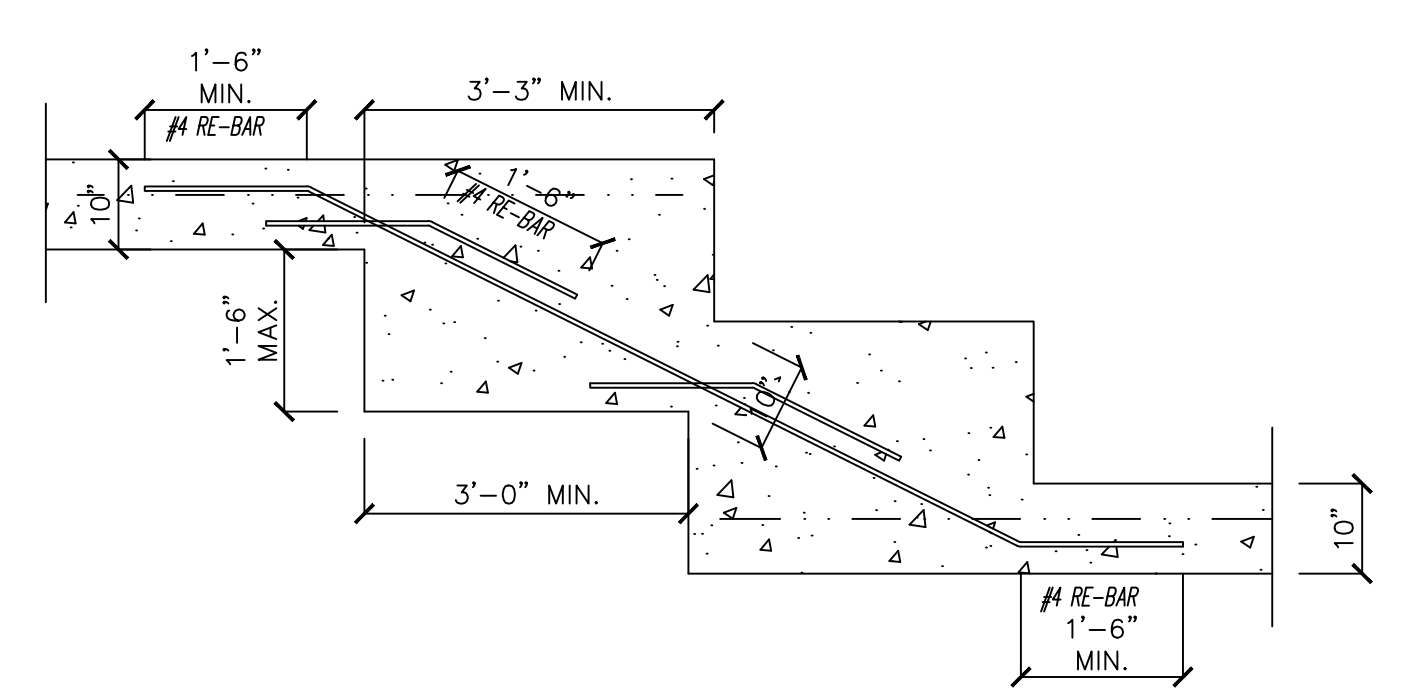
2 HOUR FIRE DETAIL (REF. DESIGN #UL-U336)
NO SCALE



1 HOUR FIRE RATED CEILING DETAIL
(REF. DESIGN #L-512)
NO SCALE

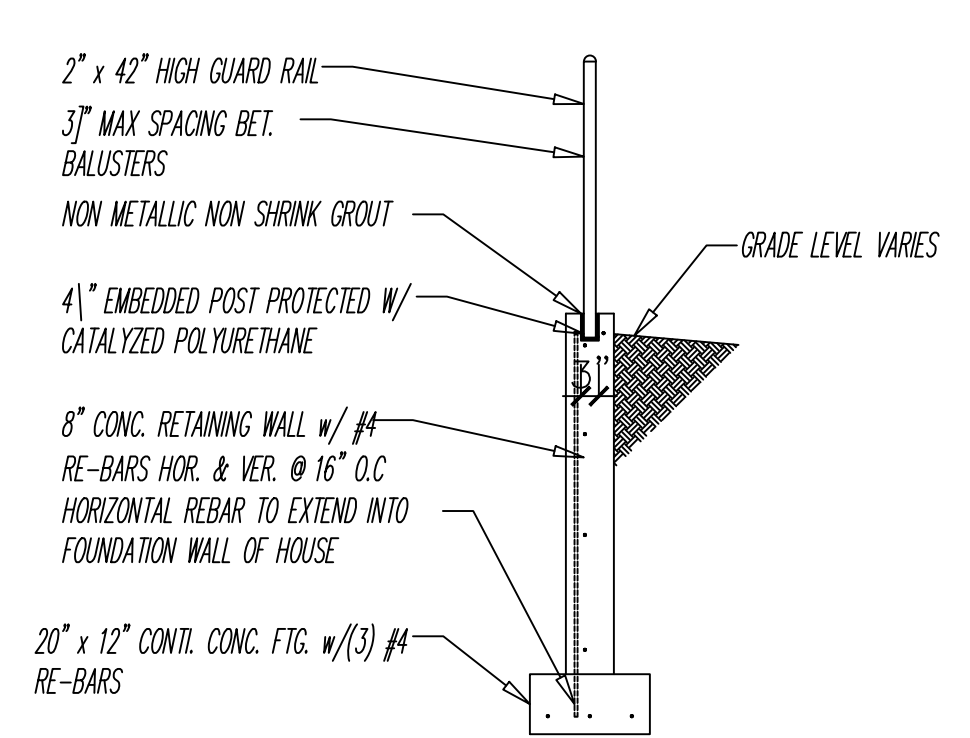


CROSS SECTION
SCALE: 1/4" = 1'0"

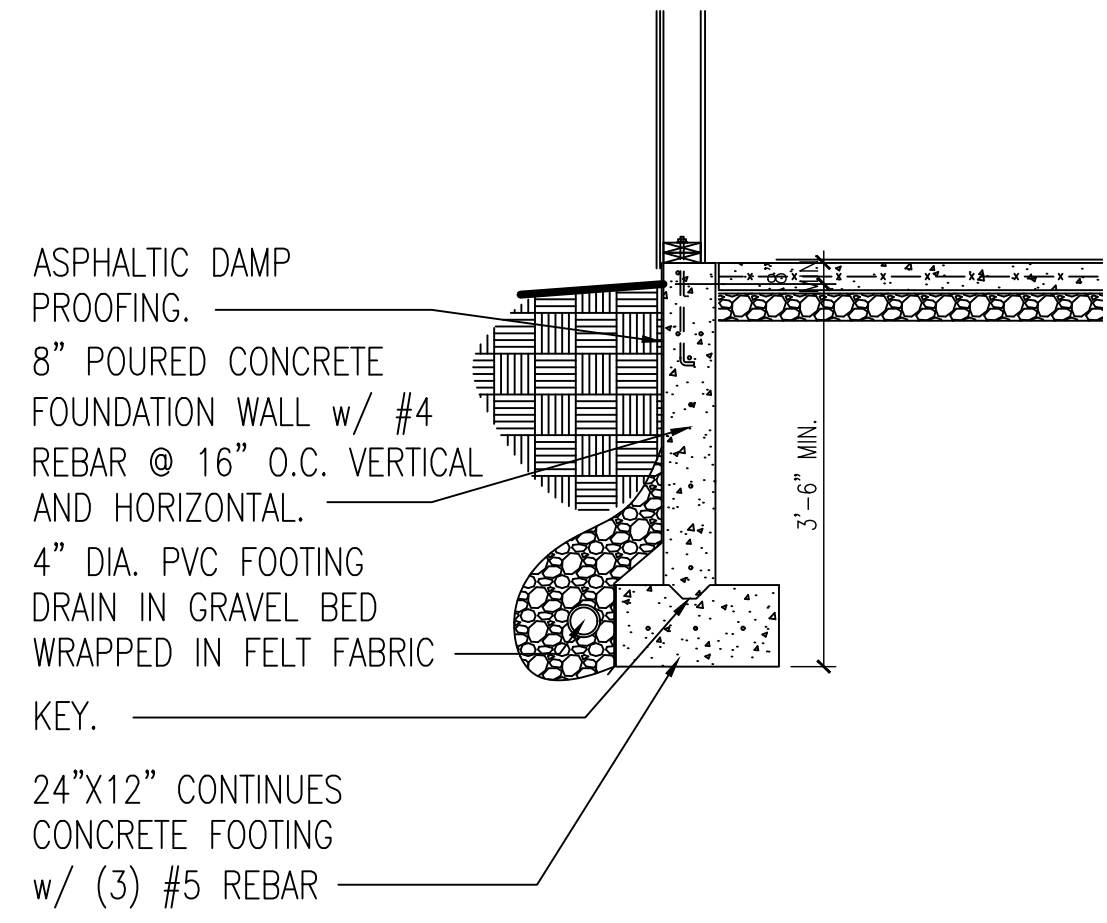


NOTES - TOP SURFACE OF FTGS. TO BE LEVEL. BOTTOM SURFACE OF FOOTINGS NOT TO HAVE A SLOPE EXCEEDING ONE VERTICAL UNIT IN 10 UNITS (MAX 10% SLOPE). MINIMUM 3 INCHES OF CONCRETE COVERAGE AROUND ALL RE-BARS.

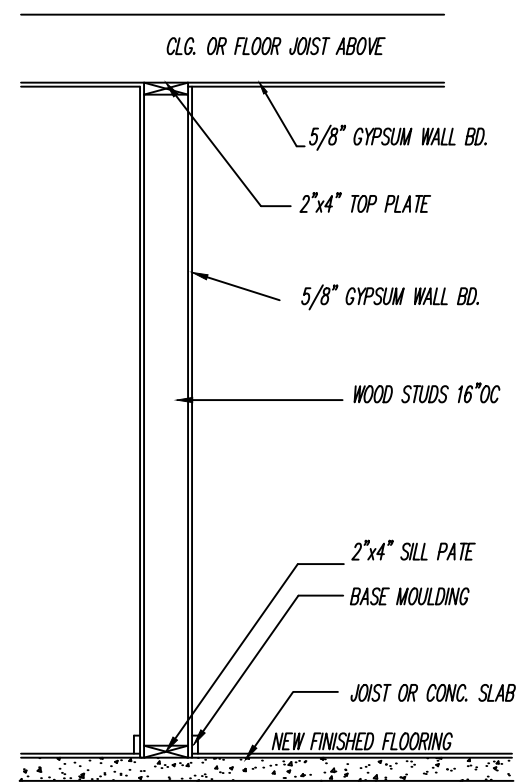
TYPICAL STEP-FOOTING DETAIL
NO SCALE



RETAINING WALL DETAIL
NO SCALE

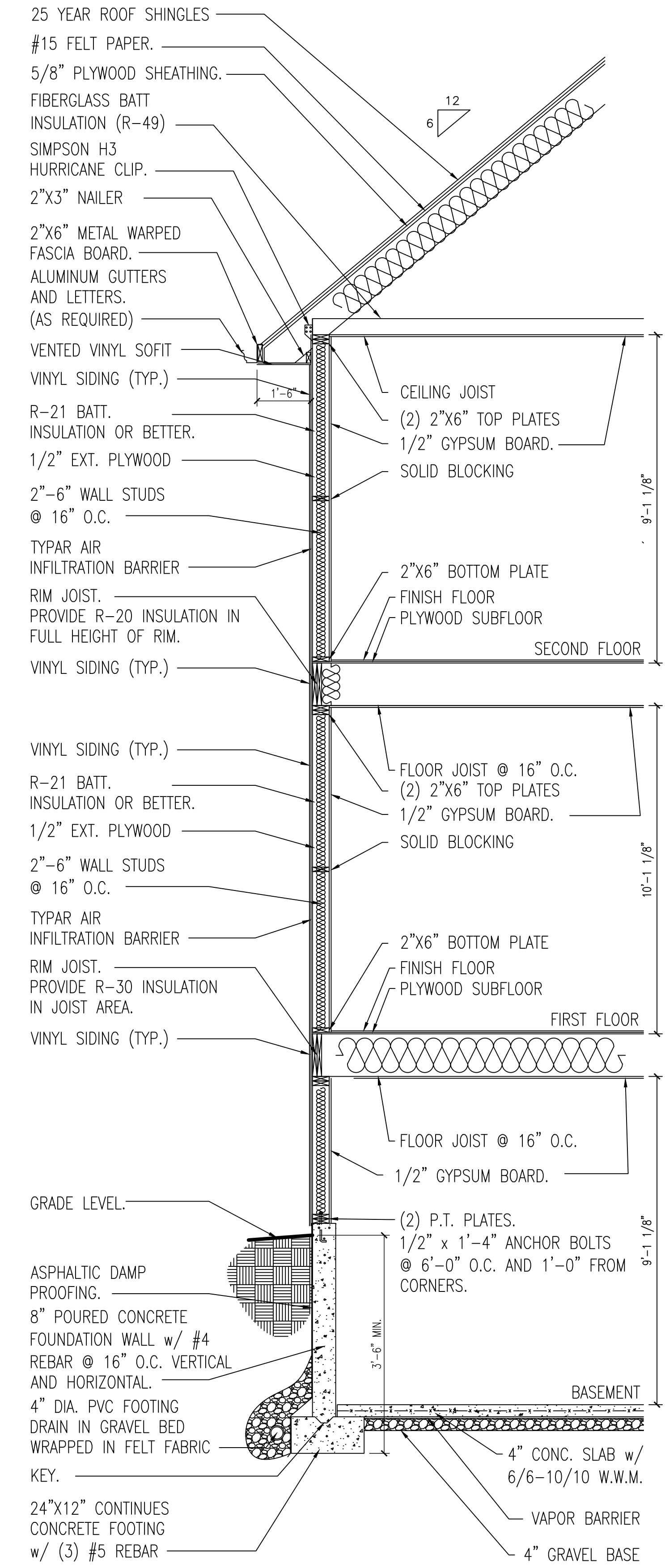


TYPICAL FOUNDATION DETAIL WHERE SLAB MEET THE GROUND
NO SCALE



INTERIOR WALL DETAIL
NO SCALE

42" (24" BEYOND INTERIOR FACE) WIDE ICE & WATER SHIELD AT ALL ROOF EDGES AND VALLEYS UP AGAINST WALL JUNCTIONS.



TYPICAL WALL SECTION
NO SCALE

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DATE.	07/03/2025
DRAWN.	J.R.
PROJECT #.	7325
SCALE.	AS NOTED
SHEET TITLE.	

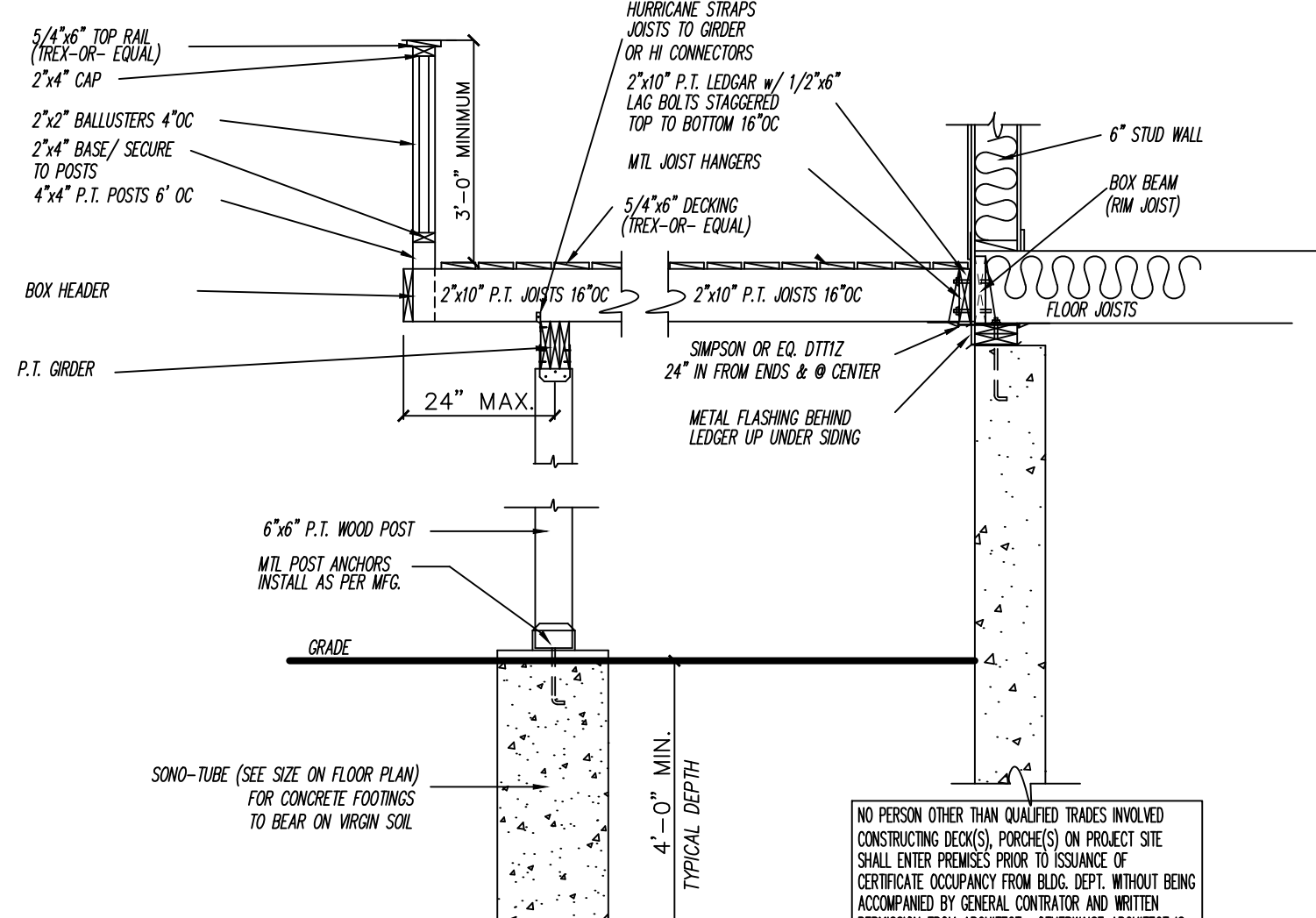
SECTIONS

PLANS SUPERVISED AND REVIEWED BY:



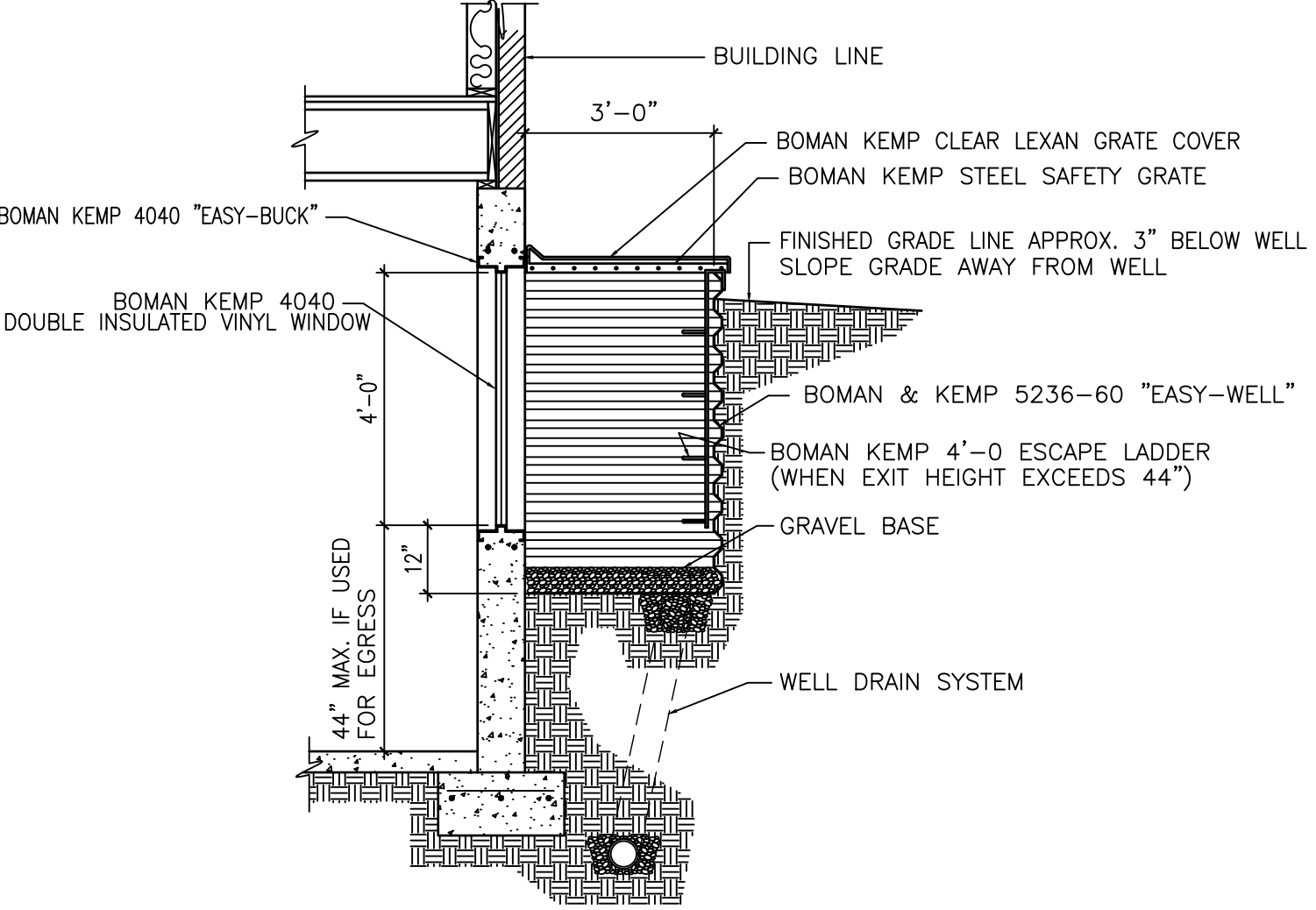
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TYPICAL DECK NOTES:
 - CONCRETE FOR DECK PIER AND STAR PLATFORMS TO BE 3500 PSI MINIMUM COMPRESSIVE STRENGTH - 28 DAY CURE TIME
 - ALL LUMBER EXPOSED TO EXTERIOR TO BE KID PRESSURE TREATED
 - ALL FASTENERS TO BE HOT DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICONE BRONZED OR COPPER - CONFORMING TO THE LATEST ASTM A-153 FOR HOT DIPPED FASTENER PRODUCTS & ASTM A-653 COATING DESIGNATION G-185 FOR HOT DIPPED CONNECTOR & SHEET PRODUCTS - EXCEPTION - 1" DIAMETER OR GREATER STEEL BOLTS MAY BE USED.

TYPICAL DECK DETAIL
NO SCALE



TYPICAL WINDOW-WELL DETAIL
NO SCALE

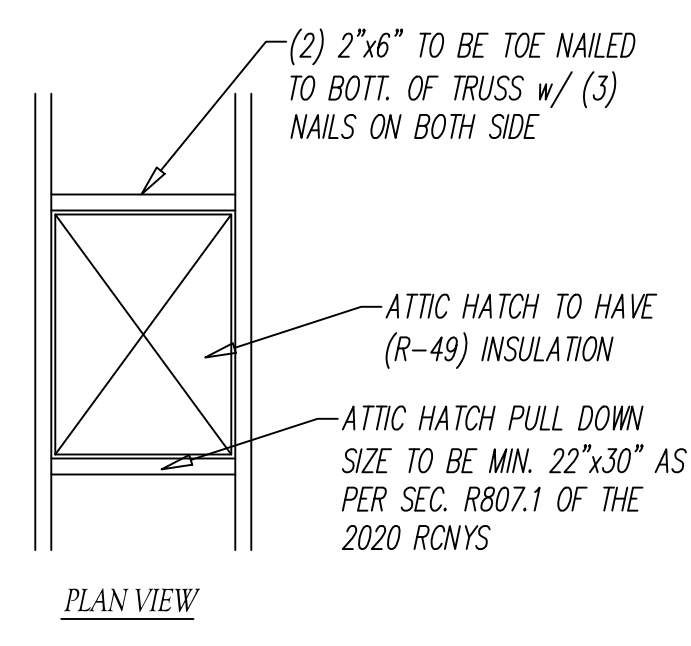
UNIT 001 - LIGHT AND VENT SCHEDULE

HABITABLE ROOM LOCATIONS	FLOOR AREA	NATURAL LIGHT(%)		NATURAL VENT(4%)		TYPE	QTY	REMARKS
		REQUIRED	PROVIDED	REQUIRED	PROVIDED			
LIVING ROOM	312 SQ. FT.	24.96 SQ. FT.	27.48 SQ. FT.	12.48 SQ. FT.	33.81 SQ. FT.	TRIPLE CASEMENT	1	* EGRESS
KITCHEN	185 SQ. FT.	14.80 SQ. FT.	15.98 SQ. FT.	7.40 SQ. FT.	22.22 SQ. FT.	DOUBLE CASMENT	1	* EGRESS
MASTER BEDROOM	216 SQ. FT.	17.28 SQ. FT.	22.32 SQ. FT.	8.64 SQ. FT.	14.08 SQ. FT.	DOUBLE HUNG	1	* EGRESS
BEDROOM #2	136 SQ. FT.	10.88 SQ. FT.	11.16 SQ. FT.	5.44 SQ. FT.	7.04 SQ. FT.	DOUBLE HUNG	1	* EGRESS
BEDROOM #3	143 SQ. FT.	11.44 SQ. FT.	11.16 SQ. FT.	5.72 SQ. FT.	7.04 SQ. FT.	DOUBLE HUNG	1	* EGRESS
BEDROOM #4	103 SQ. FT.	8.24 SQ. FT.	11.16 SQ. FT.	4.12 SQ. FT.	7.04 SQ. FT.	DOUBLE HUNG	1	* EGRESS

UNIT 002 - LIGHT AND VENT SCHEDULE

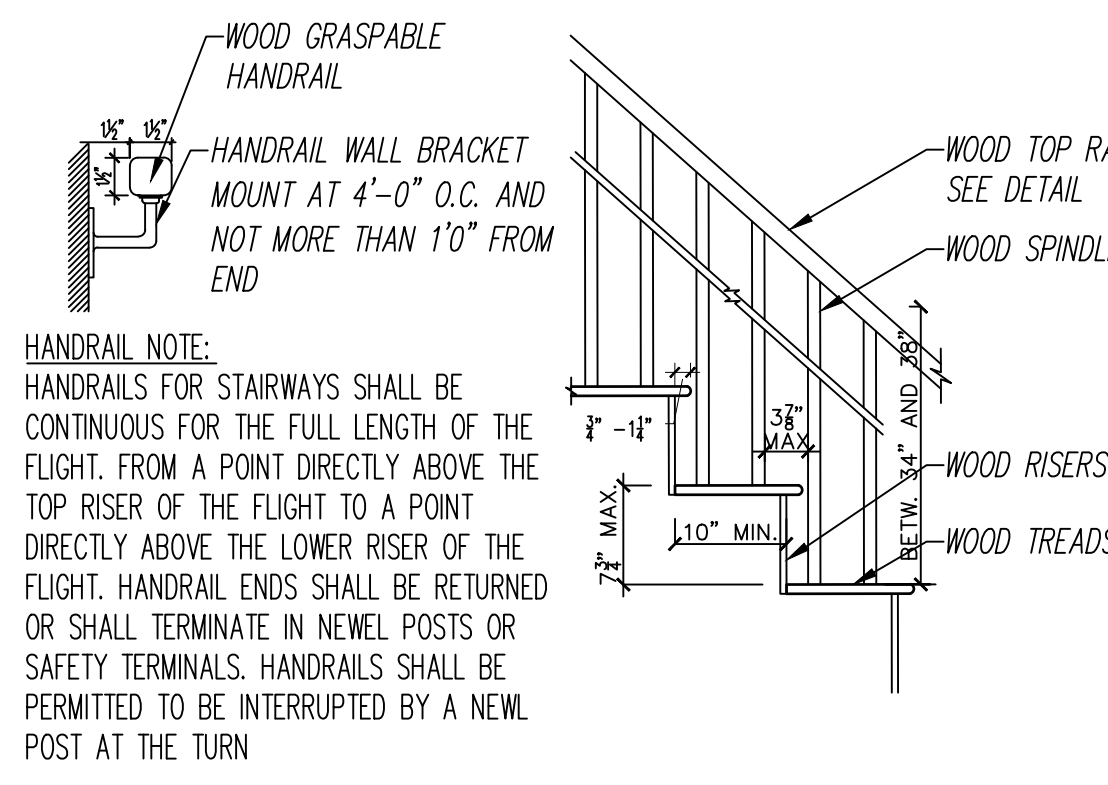
HABITABLE ROOM LOCATIONS	FLOOR AREA	NATURAL LIGHT(%)		NATURAL VENT(4%)		TYPE	QTY	REMARKS
		REQUIRED	PROVIDED	REQUIRED	PROVIDED			
LIVING ROOM	303 SQ. FT.	24.24 SQ. FT.	27.48 SQ. FT.	12.12 SQ. FT.	33.81 SQ. FT.	TRIPLE CASEMENT	1	* EGRESS
KITCHEN	212 SQ. FT.	16.96 SQ. FT.	38.3 SQ. FT.	7.48 SQ. FT.	36.3 SQ. FT.	DOUBLE CASMENT	1	* EGRESS
MASTER BEDROOM	189 SQ. FT.	15.12 SQ. FT.	22.32 SQ. FT.	7.56 SQ. FT.	14.08 SQ. FT.	DOUBLE HUNG	1	* EGRESS
BEDROOM #2	129 SQ. FT.	10.32 SQ. FT.	11.16 SQ. FT.	5.16 SQ. FT.	7.04 SQ. FT.	DOUBLE HUNG	1	* EGRESS
BEDROOM #3	113 SQ. FT.	9.04 SQ. FT.	11.16 SQ. FT.	4.54 SQ. FT.	7.04 SQ. FT.	DOUBLE HUNG	1	* EGRESS
BEDROOM #4	113 SQ. FT.	9.04 SQ. FT.	11.16 SQ. FT.	4.54 SQ. FT.	7.04 SQ. FT.	DOUBLE HUNG	1	* EGRESS

ATTIC HATCH NOTE:
 ATTIC HATCH SHALL BE WEATHERSTRIPPED AND INSULATED ACCORDING TO SEC. R807 OF THE 2020 RCNYS. WITH A MINIMUM OF R-49. ACCESS SHALL BE PROVIDED TO ALL EQUIPMENT THAT PREVENTS DAMAGING OR COMPRESSING THE INSULATION. A WOOD-FRAMED OR EQUIVALENT BAFFLE OR RETAINER IS REQUIRED TO BE PROVIDED WHEN LOOSE-FILL INSULATION IS INSTALLED, THE PURPOSE OF WHICH IS TO PREVENT THE LOOSE-FILL INSULATION FROM SPILLING INTO THE LIVING SPACE WHEN THE ATTIC ACCESS IS OPENED, AND TO PROVIDE A PERMANENT MEANS OF MAINTAINING THE INSTALLED R-VALUE OF THE LOOSE-FILL INSULATION.



ATTIC-ACCESS DETAIL
NO SCALE

MINIMUM HEADROOM CLEARANCE IN STAIRWELLS TO BE 6'-8 MIN. 3/8" MAX. RISER HEIGHT VARIATION



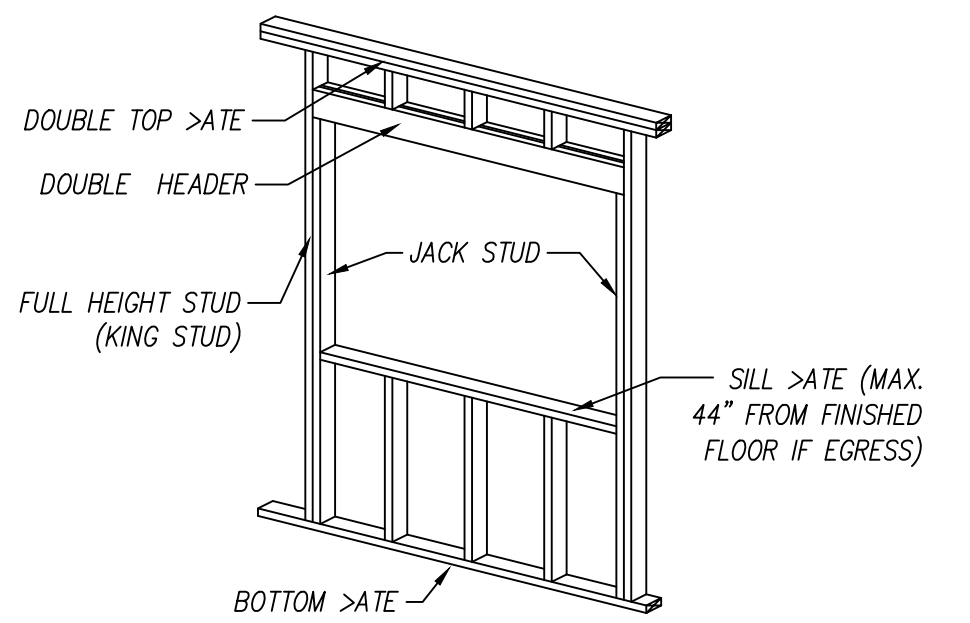
INTERIOR STAIR AND HANDRAIL DETAIL
NO SCALE

UNIT 101 - LIGHT AND VENT SCHEDULE

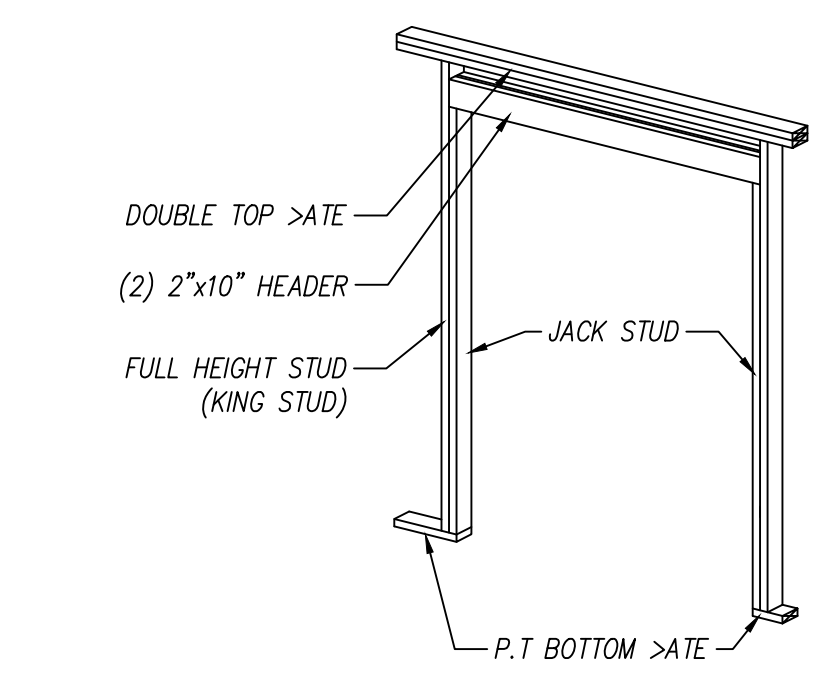
HABITABLE ROOM LOCATIONS	FLOOR AREA	NATURAL LIGHT(%)		NATURAL VENT(4%)		TYPE	QTY	REMARKS
		REQUIRED	PROVIDED	REQUIRED	PROVIDED			
LIVING ROOM	454 SQ. FT.	36.32 SQ. FT.	137.89 SQ. FT.	18.16 SQ. FT.	128.99 SQ. FT.	CSMT./SLIDING DOOR	8/1	
KITCHEN	301 SQ. FT.	24.08 SQ. FT.	33.44 SQ. FT.	12.04 SQ. FT.	18.80 SQ. FT.	CSMT./PICTURE	2/1	
PLAY ROOM	218 SQ. FT.	17.44 SQ. FT.	41.02 SQ. FT.	8.72 SQ. FT.	48.17 SQ. FT.	CSMT./SLIDING DOOR	2/1	
STUDY ROOM	64 SQ. FT.	5.12 SQ. FT.	16.56 SQ. FT.	2.56 SQ. FT.	10.88 SQ. FT.	DOUBLE HUNG	2	
HOME OFFICE	130 SQ. FT.	10.40 SQ. FT.	22.32 SQ. FT.	5.20 SQ. FT.	14.08 SQ. FT.	DOUBLE HUNG	2	
MASTER BEDROOM	210 SQ. FT.	16.8 SQ. FT.	22.32 SQ. FT.	8.4 SQ. FT.	14.08 SQ. FT.	DOUBLE HUNG	2	* EGRESS
BEDROOM #2	148 SQ. FT.	11.84 SQ. FT.	22.32 SQ. FT.	5.92 SQ. FT.	14.08 SQ. FT.	DOUBLE HUNG	2	* EGRESS
BEDROOM #3	134 SQ. FT.	10.72 SQ. FT.	22.32 SQ. FT.	5.36 SQ. FT.	14.08 SQ. FT.	DOUBLE HUNG	2	* EGRESS
BEDROOM #4	147 SQ. FT.	11.76 SQ. FT.	15.98 SQ. FT.	5.88 SQ. FT.	15.83 SQ. FT.	DOUBLE CASMENT	1	* EGRESS
BEDROOM #5	147 SQ. FT.	11.76 SQ. FT.	15.98 SQ. FT.	5.88 SQ. FT.	15.83 SQ. FT.	DOUBLE CASMENT	1	* EGRESS

UNIT 102 - LIGHT AND VENT SCHEDULE

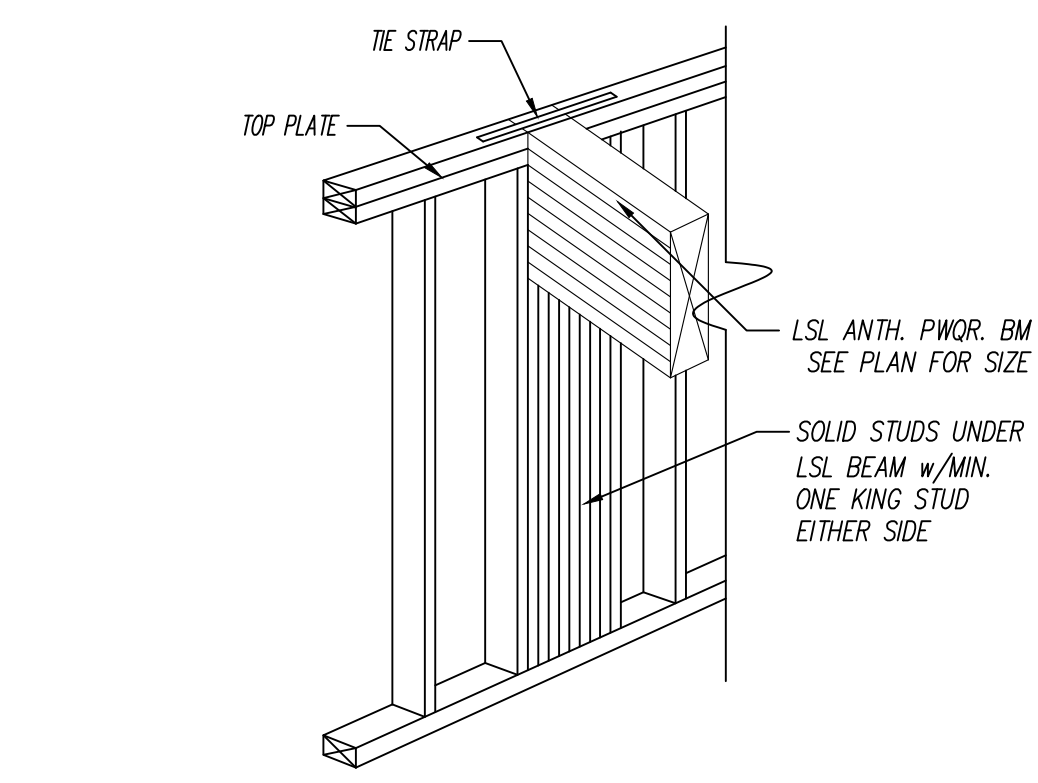
HABITABLE ROOM LOCATIONS	FLOOR AREA	NATURAL LIGHT(%)		NATURAL VENT(4%)		TYPE	QTY	REMARKS
		REQUIRED	PROVIDED	REQUIRED	PROVIDED			
LIVING ROOM	331 SQ. FT.	26.48 SQ. FT.	59.79 SQ. FT.	13.24 SQ. FT.	48.17 SQ. FT.	CSMT./SLIDING DOOR	8/1	
KITCHEN	332 SQ. FT.	26.56 SQ. FT.	72.86 SQ. FT.	13.28 SQ. FT.	49.44 SQ. FT.	CSMT./PICTURE	2/1	
PLAY ROOM	196 SQ. FT.	15.68 SQ. FT.	37.84 SQ. FT.	7.84 SQ. FT.	39.36 SQ. FT.	CSMT./PIC./S - DOOR	2/1	
STUDY ROOM	64 SQ. FT.	5.12 SQ. FT.	16.56 SQ. FT.	2.56 SQ. FT.	10.88 SQ. FT.	DOUBLE HUNG	2	
HOME OFFICE	126 SQ. FT.	10.08 SQ. FT.	22.32 SQ. FT.	5.04 SQ. FT.	14.08 SQ. FT.	DOUBLE HUNG	2	
MASTER BEDROOM	259 SQ. FT.	20.72 SQ. FT.	22.32 SQ. FT.	10.36 SQ. FT.	14.08 SQ. FT.	DOUBLE HUNG	2	* EGRESS
BEDROOM #2	104 SQ. FT.	8.32 SQ. FT.	22.32 SQ. FT.	4.16 SQ. FT.	14.08 SQ. FT.	DOUBLE HUNG	2	* EGRESS
BEDROOM #3	135 SQ. FT.	10.80 SQ. FT.	22.32 SQ. FT.	5.40 SQ. FT.	14.08 SQ. FT.	DOUBLE HUNG	2	* EGRESS
BEDROOM #4	159 SQ. FT.	12.72 SQ. FT.	15.98 SQ. FT.	6.36 SQ. FT.	15.83 SQ. FT.	DOUBLE CASMENT	1	* EGRESS
BEDROOM #5	149 SQ. FT.	11.92 SQ. FT.	15.98 SQ. FT.	5.96 SQ. FT.	15.83 SQ. FT.	DOUBLE CASMENT	1	* EGRESS



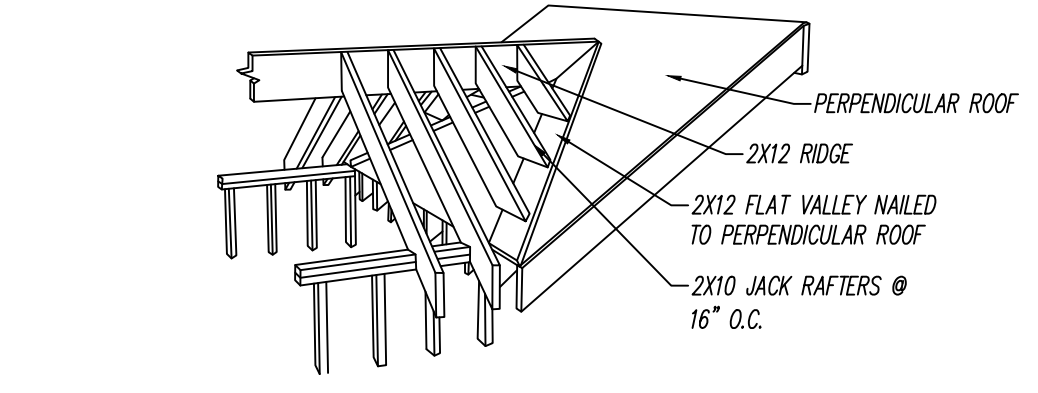
WINDOW-OPENING DETAIL
NO SCALE



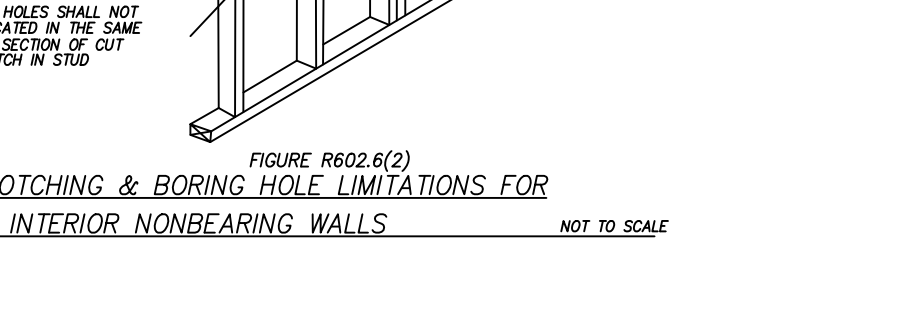
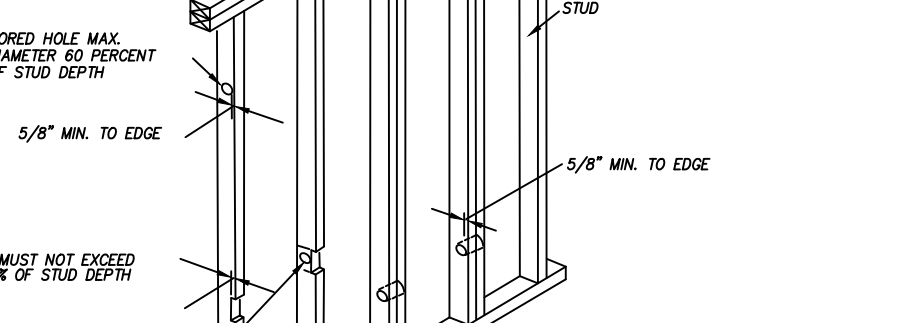
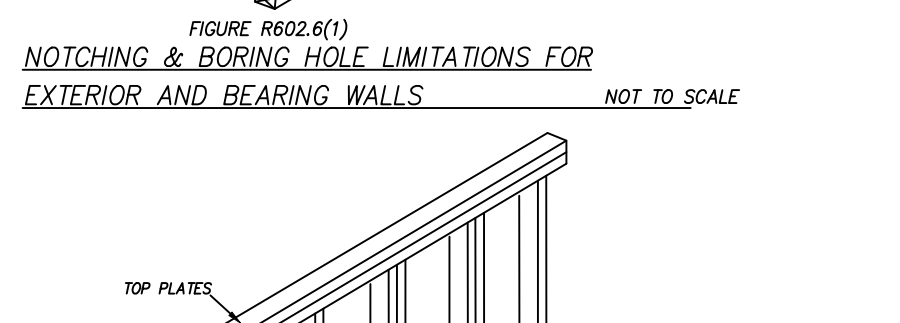
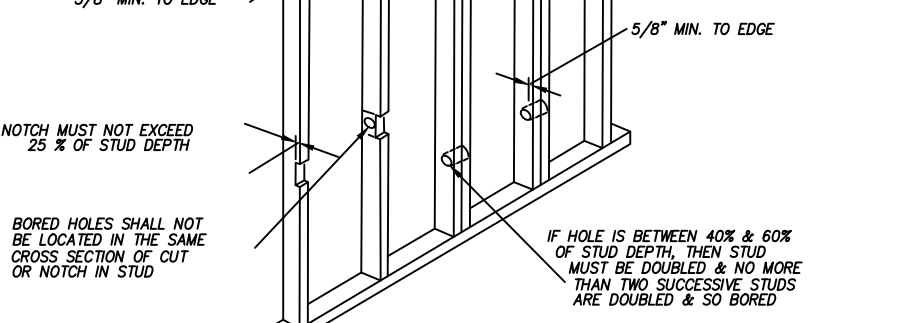
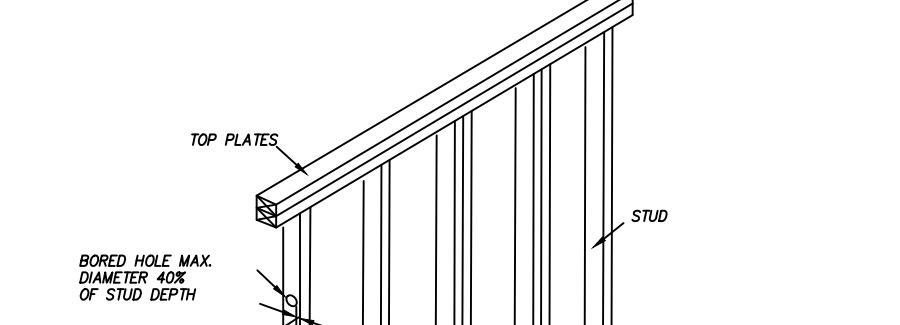
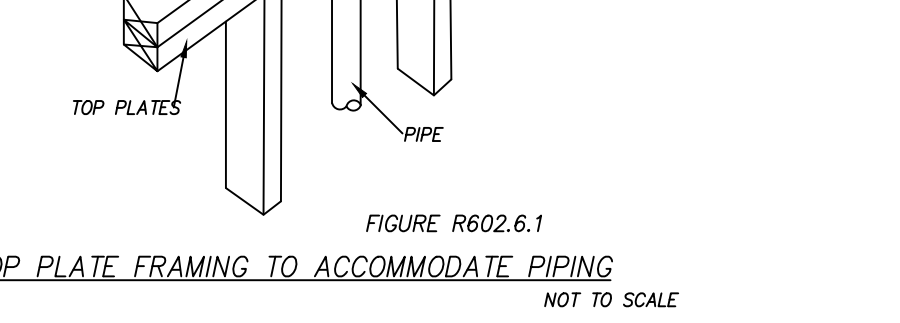
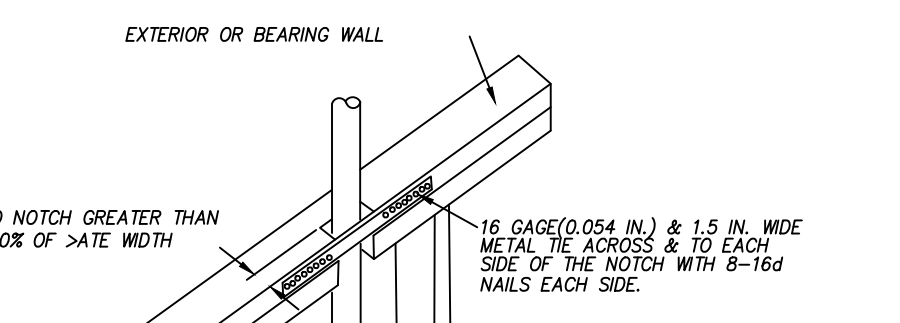
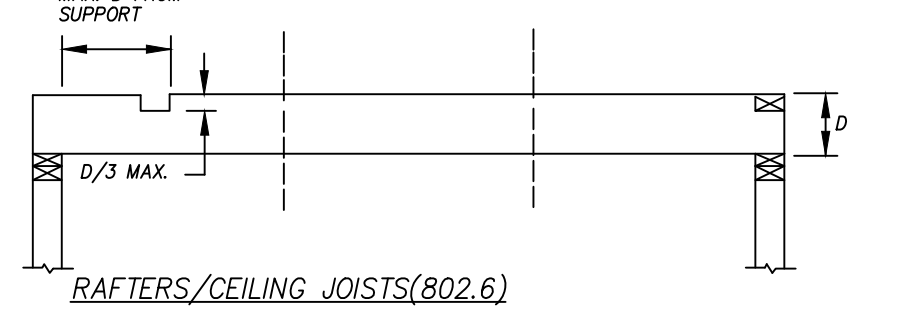
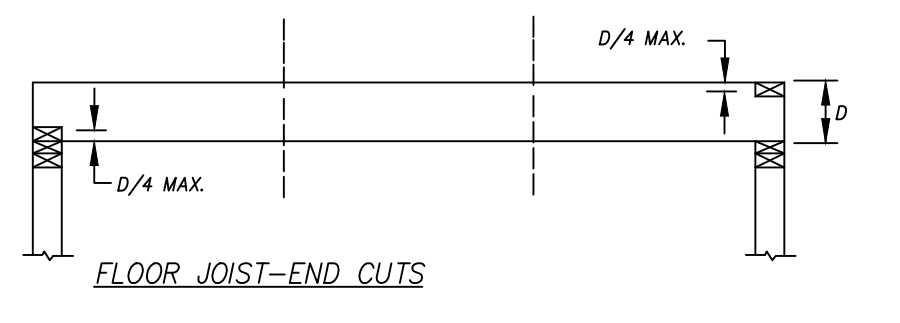
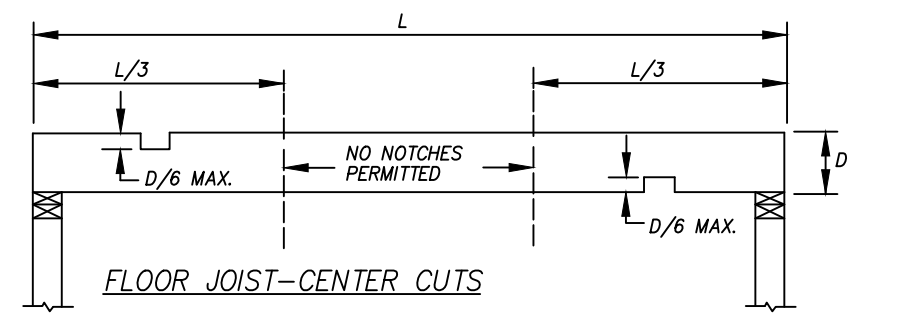
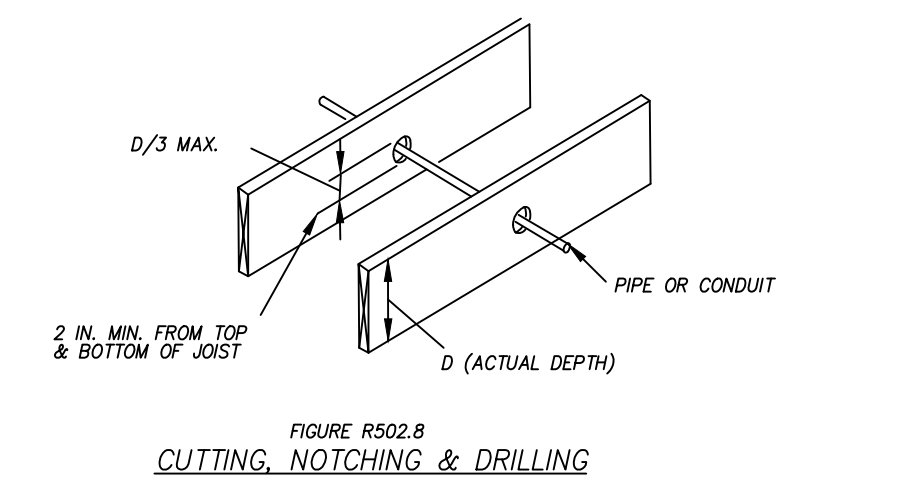
DOOR-OPENING DETAIL
NO SCALE



BEAM-COLUMN DETAIL
NO SCALE



ROOF-OVER FRAME DETAIL
NO SCALE



ERIC KNUTE OSBORN ARCHITECT
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 N.Y. LIC. #021585

PLANS PREPARED & ASSOCIATION WITH:

 PLAN@JOELAREDESIGN.COM
 845-492-6126

REVISIONS.
 I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THESE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE "2020 RESIDENTIAL CODE OF NEW YORK" AND THE "2020 ENERGY CONSERVATION CODE OF NEW YORK STATE".

PROJECT:
 PROPOSED ONE 4 RESIDENTIAL UNITS FOR
327 LAKE SHORE DR LLC
 VILLAGE OF SOUTH BLOOMING GROVE ORANGE COUNTY N.Y.

DATE: 07/03/2025
 DRAWN: J.R.
 PROJECT #: 7325
 SCALE: AS NOTED
 SHEET TITLE:

DETAILS

PLANS SUPERVISED AND REVIEWED BY:



THESE PLANS ARE THE PROPERTY OF THE ARCHITECT / LOANED TO THE CLIENT FOR USE AS A CONSTRUCTION GUIDE FOR THIS PROJECT ONLY. SUBSTITUTIONS AND/OR REVISIONS MADE DURING OR AFTER THESE PLANS WITHOUT WRITTEN NOTICE SHALL VOID ARCHITECTS RESPONSIBILITY. ARCHITECT NOT RESPONSIBLE FOR CONTRACTORS METHODS AND WORKMANSHIP. ARCHITECT NOT LIABLE FOR EXISTING AND UNDESIRED CONDITIONS.

GENERAL NOTES:

ALL WORK SHALL BE IN ACCORDANCE WITH ALL PREVAILING CODES, LAWS, AND ORDINANCES OF THE 2020 BONY'S INTERNATIONAL BUILDING CODE, 2020 ENERGY CODES AND OF THE LOCAL TOWN OR VILLAGE OF WHICH THE PROJECT IS LOCATED.

THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY PRIOR, DURING AND AFTER CONSTRUCTION ALL NECESSARY LICENSES AND INSURANCES PER THE N.Y.S. LOCAL AND ALL GOVERNING REGULATIONS.

THE OWNER SHOULD READ AND REVIEW HIS/HER ENTIRE SET OF CONTRACT DOCUMENTS (PLANS & SPECIFICATIONS) PRIOR TO GIVING IT TO THE CONTRACTOR. OWNER SHALL CONFIRM THAT ALL INFORMATION IS CORRECT. SHOULD THE OWNER FIND ANYTHING THAT IS NOT WHAT THEY INTENDED TO BE DONE, THEN THEY SHALL HAVE THE ARCHITECT AMEND IT AS REQUIRED.

THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION, AND OR PROJECT SITE. THE GENERAL PUBLIC, PROSPECTIVE BUYERS AND ALL OTHER NON-CONSTRUCTION RELATED PERSONS ARE NOT TO ENTER THE CONSTRUCTION WORK AREA UNTIL A VALID CERTIFICATE OF OCCUPANCY IS ISSUED BY THE LOCAL BUILDING DEPARTMENT.

THE PROJECT SITE SHALL BE PROPERLY POSTED AND TAPED AND OR FENCED OFF TO ENSURE PUBLIC SAFETY AND SAFEGUARD THE PUBLIC AT ALL TIMES.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS (PLANS & SPECIFICATIONS) PRIOR TO ANY ERECTION/CONSTRUCTION.

ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IMMEDIATELY.

ALWAYS USE DIMENSIONS AS SHOWN AND THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. DRAWINGS ARE NOT TO BE SOALED.

ALL CHANGES MADE BY THE CONTRACTOR SHALL FIRST BE APPROVED BY THE ARCHITECT AND OWNER PRIOR OF STARTING WITH THE WORK INVOLVED.

ANY UNAUTHORIZED CHANGES MADE BY THE CONTRACTOR AND ULTIMATELY NOT BEING APPROVED BY THE OWNER AND ARCHITECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND TO BE CORRECTED AT HIS OWN EXPENSE.

THE ARCHITECT HAS NOT BEEN RETAINED FOR ANY MECHANICAL DESIGN SYSTEMS, DUCTS, CHIMNEYS, CHASE OPENINGS, SIZE OF FURNACE AND FRESH AIR REQUIREMENTS ETC. THESE ARE NOT SHOWN AND SHALL BE DETERMINED BY A MECHANICAL ENGINEER PRIOR OF COMMENCING THE WORK.

THE ARCHITECT HAS NOT BEEN RETAINED FOR SUPERVISION, AND CONSTRUCTION INSPECTIONS AND/OR THE REVIEW OF SHOP DRAWINGS. THE ARCHITECT HAS ONLY BEEN RETAINED FOR DESIGN PURPOSES. THEREFORE, THE ARCHITECT ASSUMES NO LIABILITY FOR WORKMANSHIP CODE AND OR PLAN COMPLIANCE. THE ARCHITECTS RESPONSIBILITY IS STRICTLY LIMITED TO THESE PLANS AND RELATED SPECIFICATIONS ONLY.

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION MEANS, METHODS, DEVIATIONS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR ANY SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, NOR FOR THE OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DOCUMENTS. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURES AND OR ANY UNFORESEEN PROBLEMS PRIOR TO NEW CONSTRUCTION.

THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY DEMOLITION, SITE WORK, NEW CONSTRUCTION, OPERATION AND METHODS. ALL AREAS THAT ARE AFFECTED BY ALL ADDITIONS SHALL BE REPAIRED AND OR PATCHED TO A LIKE NEW CONDITION, UNLESS NOTED OTHERWISE.

THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS BY THE LOCAL AND STATE GOVERNMENT AS REQUIRED AND TO DELIVER TO THE OWNER A C. OF O. UPON COMPLETION OF THE PROJECT.

THE CONTRACTOR SHALL PROVIDE A CONTAINER FOR THE REMOVAL OF DEBRIS DURING CONSTRUCTION. THE CONTRACTOR AND ALL SUBCONTRACTORS WORKING WITH THIS PROJECT SHALL KEEP THE SITE CLEAN AND HAZARD FREE AT ALL TIMES AND TO OBBE ALL "OSHA" AND ALL OTHER SAFETY REGULATIONS.

THE CONTRACTOR SHALL LEAVE PREMISES BROOM CLEAN DAILY. THE CONTRACTOR SHALL GUARANTEE ALL WORK SPECIFIED AND/OR DESCRIBED BY THESE DRAWINGS AND IS TO FOLLOW ALL NATIONALLY ACCEPTED TRADE PRACTICES.

SITE NOTES:

THESE PLANS ARE BASED IN ACCORDANCE TO THE SURVEY INFORMATION PROVIDED TO THE ARCHITECT BY THE OWNER. THEY SHOULD BE REVIEWED BY A LICENSED LAND SURVEYOR AND OR ENGINEER TO VERIFY ALL BUILDING LINES, AND SET BACKS PRIOR TO CONSTRUCTION.

THE ELEVATION SHOWN ON THE PLAN MAY NOT BE ACCURATE IN EVERY DETAIL, THE OWNER SHALL REVIEW THE PLANS WITH THE CONTRACTOR TO INSURE ACCURACY OF DETAILS AND METHODS PROVIDED BY THE CONTRACTOR.

THE CONTRACTOR SHALL BE RESPONSIBLE OF NOTIFYING ALL UTILITY COMPANIES, AND VERIFYING THE LOCATION OF THE SAME UTILITY COMPANIES LINES, SERVICES AND ALL OTHER POSSIBLE EQUIPMENTS OF UTILITY COMPANIES.

THE CONTRACTOR SHALL LOCATE AND IDENTIFY THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES, AND PROVIDE UNDERGROUND CONNECTIONS TO THEM.

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY GROUND WATER, EXCESSIVE ORGANIC MATERIAL, OR ANY OTHER UNSUITABLE CONDITIONS DISCOVERED DURING SITE PREPARATION AND OR EXCAVATION.

THE CONTRACTOR SHALL PROVIDE ONE PROPERLY MAINTAINED, PORTABLE TOILET FOR THE ENTIRE DURATION OF THE CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE FROM A REGISTERED LAND SURVEYOR A WRITTEN CERTIFICATE THAT THE LOWEST PORTION OF THE FIRST FLOOR MEETS OR EXCEEDS THE REQUIRED FLOOD ELEVATION.

ALL DRIVEWAYS AND WALKWAYS FROM WORK SHALL BE APPROVED BY DEVELOPMENT REVIEW REPRESENTATIVE BEFORE ANY WORK CONTINUES.

THE CONTRACTOR SHALL REMOVE AND DISPOSE ALL RUBBISH, VEGETATION, STUMPS, ROOTS, AND TREES AS SHOWN ON THE PLANS.

ALL AREAS TO BE COVERED WITH FILL AND GRADED DOWN. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES SHOWN TO REMAIN AS REQUIRED.

EXTREME CAUTION SHALL BE TAKEN DURING DEMOLITION OF EXISTING BUILDINGS.

THE CONTRACTOR SHALL OBSERVE ANY VARIATIONS AND OR ANY UNFORESEEN DISCREPANCIES WITH THE PLANS, AND SHOULD REPORT IMMEDIATELY TO THE ARCHITECT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING AND ALL TEMPORARY SUPPORTS PRIOR OF REMOVING THE EXISTING WALLS, CEILINGS, FLOORS AND ROOFS AS PER ALL LOCAL AND "OSHA" REGULATIONS.

THE CONTRACTOR SHALL PROVIDE WEATHERPROOFING AT THE END OF EACH WORK DAY AS REQUIRED TO PREVENT WEATHER DAMAGE.

THE ARCHITECT IS NOT RESPONSIBLE FOR FROZEN PIPES AND/OR MOLD CONDITIONS CREATED BY THE CONTRACTORS NEGLIGENCE.

BACKFILL SHALL NOT BE PLACED UNTIL THE MAIN FLOOR SYSTEM AND BASEMENT CONCRETE INTERIOR FLOOR SLABS ARE INSTALLED.

FOOTING DRAINS SHALL BE PROVIDED AS SHOWN, AND APPROPRIATE, THEY SHOULD BE LAID IN GRAVEL BED AND PROTECTED AT THE TOP WITH FILTER FABRIC AND 6" OF 11/2" GRAVEL AROUND & PROVIDE POSITIVE OUTFALL TO A STORM DRAIN OR A DRY-WELL.

THE FINISHED GRADE AND DRIVEWAY SHOULD BE PITCHED AWAY FROM THE BUILDING SUCH THAT ALL THE SURFACE WATER FLOWS AWAY FROM BUILDING.

THE FINISHED GRADE HEIGHT SHALL BE A MINIMUM OF 8" BELOW THE ADJACENT FRAMING, OR AS INDICATED ON PLANS.

THE TOP OF ANY FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2 PERCENT.

INSTALLATION OF GAS AND ELECTRIC METERS SHOULD BE IN STRICT ACCORDANCE WITH THE LOCAL UTILITY COMPANY SPECIFICATIONS.

FOUNDATION NOTES:

IT'S THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND COORDINATE DIMENSIONS BETWEEN FOUNDATION AND FLOOR PLANS PRIOR TO CONSTRUCTION.

ALL EXCAVATIONS SHOULD BE SUBSTANTIALLY FREE OF WATER DURING FOUNDATION CONSTRUCTION WORK.

THIS PROJECT HAS BEEN DESIGNED BY ASSUMING THAT ALL THE SOIL BEARING IS 2 KIPS/SQ. FT. (2000#).

ALL STRUCTURAL CONCRETE SHALL BE A STONE CONCRETE WITH A 1:3:5 MIX AND HAVE A MINIMUM STRENGTH OF 3,500 PSI AT THE END OF 28 DAYS.

ALL FOOTINGS TO REST ON UNDISTURBED SOIL CAPABLE OF SUPPORTING 2 TONS PER SQ. FT. REFERENCE THE PLANS FOR SIZE AND QUANTITY OF REINFORCING BARS.

ALL FOOTINGS SHALL BE BELOW THE FINISHED GRADE MINIMUM OF 3'-6" IN ROCKLAND COUNTY, 3'-6" IN ORANGE COUNTY, OR OTHERWISE SHOWN ON THE PLAN.

PROVIDE EXPANSION JOINTS AT PERIMETERS OF ALL CONCRETE SLABS.

ALL INTERIOR FOOTINGS SHALL STEP DOWN TO PERIMETER WALL FOOTING DEPTH AT ALL FOOTING INTERSECTIONS.

ALL SUB GRADE FILL MATERIAL SHALL BE COMPACTED TO A DENSITY OF 96.

ALL CONCRETE SLABS SHALL BE A MINIMUM OF 4" THICK - REINFORCED WITH 6x6/10x10 WELDED WIRE MESH ON 6 MIL VAPOR BARRIERS ON 4" OF 3/4" GRAVEL, UNLESS SHOWN OTHERWISE AND TO RECEIVE A SMOOTH FINISH.

ALL CONCRETE PAVING SHALL RECEIVE A FINE BROOM FINISH UNLESS SHOWN OTHERWISE.

ALL CONCRETE SLABS TO RECEIVE CONTROL JOINTS (1/2" SAW CUTS) AT A MAXIMUM OF 25'x25' TO CONTROL CRACKING WITH SHRINKAGE.

SLOPE ALL CONCRETE SLABS TO DRAIN TO EXTERIOR. SLOPES IN GARAGES SHALL BE A MINIMUM OF 1/8"=1'-0" UNLESS SHOWN OTHERWISE.

MASONRY AND CONCRETE CONTRACTOR SHALL INSTALL ALL ANCHOR BOLTS, PLATES, CHASES, SLOTS, SLEEVES, ETC. AS REQUIRED BY TRADES. CAULK WEATHER-TIGHT ALL OPENINGS.

EXTERIOR OF THE CONCRETE WALLS TO BE COATED WITH RUB-R-WALL COATING OR EQUAL.

INTERIOR COLUMNS TO BE 4" DIAM. STANDARD STEEL - PROVIDE BASE & TOP PLATES.

INTERIOR COLUMNS OVER 9'-0" IN HEIGHT TO BE 5" DIAM. STANDARD STEEL COLUMNS.

EXTREME CAUTION TO BE USED IN DELIVERY OF THE STEEL COLUMNS. MUST NOT BE DROPPED AT ANY TIME.

FRAMING NOTES:

ALL ENGINEERED BEAMS INDICATED ON THE PLANS ARE DESIGNED USING THIS SPECIFIC MANUFACTURER AND SHALL BE INSTALLED PER THE MANUFACTURERS SPECIFICATIONS ONLY.

WHEN USING MULTIPLE MEMBER ENGINEERED BEAMS, THE FRAMER SHALL REFERENCE WITH THE SPECIFIC MANUFACTURERS NAILING GUIDE.

PROVIDE METAL FLASHING AT ALL EXTERIOR DOORS, WINDOWS AND OPENINGS UNLESS SHOWN OTHERWISE.

INSTALL 36" WIDE ICE & WATER SHIELD AT ALL ROOF EDGES, IN VALLEYS, UP AGAINST WALL JUNCTIONS, OVER HIPS AND WRAP OVER ALL FASCIAS. THE SHIELD SHALL COVER MINIMUM 24" TOP OF EXTERIOR SIDE OF EXTERIOR WALLS. PROVIDE OPTIONAL SNOW-GUARDS IF REQUIRED WITH THE STANDARD SPACING ALONG THE BOTTOM EDGE OF THE ROOF.

FRAMING NOTES DIMENSIONS ARE TO THE NEAREST INCH, ACTUAL ROOM SIZES MAY VARY DUE TO GYPSUM BOARD OR FINISHING.

ALL WOOD FRAMING IN DIRECT CONTACT WITH SOIL, CONCRETE, MASONRY OR WEATHER SHALL BE PRESSURE TREATED (ANPA STANDARD C2, C3).

ALL FRAMING BELOW THE REQUIRED FLOOD ELEVATION AS SET FORTH BY FEMA AND LOCAL BUILDING OFFICIALS SHALL BE PRESSURE TREATED.

SECURE ALL TEMPORARY RAILINGS WITH GUARDS TO BE INSTALLED AROUND ALL FLOOR OPENINGS AND OPEN-DOOR OPENINGS.

PROVIDE TEMPORARY RAMPS AND/OR STAIRS, TO BE INSTALLED AT ALL LEVELS.

ALL LUMBER TO BE DOUGLAS FIR-LARCH #2 OR BETTER.

ALL LUMBER TO BE SOUND, DRY AND FREE FROM ROT, KNOTS, AND SPLITS.

ALL FRAMING SHALL BE FRAMED AT 16" O.C. UNLESS SHOWN OTHERWISE.

FOR ALL CONVENTIONAL FLOOR FRAMING PROVIDE A MINIMUM OF ONE ROW OF 5/4 CROSS BRIDGING FOR ALL JOISTS WITH SPANS OVER 12'-0" OR AS SHOWN OTHERWISE ON THE PLANS.

PROVIDE A MINIMUM OF DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, MAJOR APPLIANCES, BATH FIXTURES, AND AT ALL CANTILEVERS, UNLESS SHOWN OTHERWISE.

PROVIDE A MINIMUM OF DOUBLE ALL JOISTS AT OPENINGS IN FLOORS, CEILINGS AND ROOFS.

PROVIDE A MINIMUM OF DOUBLE WALL STUDS AROUND ALL WALL OPENINGS, JACK STUDS UNDER ALL HEADERS, TRIPLE STUDS AT ALL CORNERS.

PROVIDE POSTS AT ALL RIDGE, HIP AND VALLEY INTERSECTIONS DOWN TO A MINIMUM OF TRIPLE 2"x8" CEILING JOISTS.

ALL FRAMING SHALL BE FRAMED CROWN UP UNLESS AT CANTILEVERS OR SHOWN OTHERWISE.

SOLID BLOCKING SHALL BE PROVIDED UNDER ALL POSTS THAT DON'T REST DIRECTLY ON JOISTS.

ALL WOOD POSTS SHALL BE SOLID STUDS, AND TO BE A MINIMUM OF THE WIDTH OF THE BEAM SUPPORTING IT AND PROVIDE MINIMUM ONE KING STUD AT EITHER SIDE.

BRACE ALL WALLS DURING CONSTRUCTION.

ALL WALL FRAMING OF 9'-0" AND GREATER SHALL HAVE CATS (SOLID BLOCKING) AT MID-HEIGHT.

ALL DOORS, WINDOWS AND OPENINGS SHALL HAVE A MINIMUM HEADER TO BE AS FOLLOWS UNLESS SHOWN OTHERWISE ON PLANS: UP TO 5'-0" USE (2)2"x10", UP TO 8'-0" USE (3)2"x10" OR (2)2"x12", OPENINGS GREATER THAN 8'-0" SEE PLANS FOR SIZES.

ALL HEADERS AND BEAMS SHALL BE GLUED AND NAILED 6 BOTTOMS.

PROVIDE FASTENER NAILS AS FOLLOWS: 10d AT ALL GENERAL FRAMING AND 8d AT ALL PLYWOOD, 4" SPACING MAX. - TABLE R602.3(1) THROUGH R602.3(4).

ROOFING, SIDING, TRIM AND OTHER MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THEIR RESPECTIVE MANUFACTURER SPECIFICATIONS AND INDUSTRY STANDARDS.

PROVIDE 6" ALUMINUM GUTTERS AND 4" DRAIN PIPES, OWNER TO PROVIDE COLOR SELECTION.

FIRE BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING & FLOOR LEVELS. CONCEALED HORIZONTAL FURRED SPACES SHALL ALSO BE FIRE BLOCKED
2. AT INTERVAL NOT EXCEEDING 10 FEET. BATS OR BLANKETS OF MINERAL OR GLASS FIBER SHALL BE ALLOWED AS FIRE BLOCKING IN WALLS CONSTRUCTED USING ROWS OF STUDS OR STAGGERED STUDS.
3. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERT. & HORIZ. SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
4. IN CONCEALED SPACES BET. STAIR STRINGERS AT TOP & BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY w/SECTION R311.2.2.
5. AT OPENINGS AROUND VENTS, PIPES AND DUCTS AT CEILING AND FLOOR LEVEL, w/ AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
6. FOR THE FIRE BLOCKING OF CHIMNEYS & FIREPLACES. SEE SECTION R101.1.6.
7. FIRE BLOCKING OF CORNICES OF A 2 FAMILY DWELLING IS REQ'D AT THE LINE OF DWELLING UNIT SEPARATION.

DRYWALL NOTES:

ALL GYPSUM BOARD DRYWALL CUT JOINTS SHALL BE ADJACENT TO CORNERS.

NO BUTT JOINTS IN WALL SHALL BE PERMITTED.

ALL CORNERS AND JOINTS SHALL RECEIVE TWO COATS OF JOINT COMPOUND FEATHERED SMOOTH AND ALL DIMPLES CREATED BY FASTENERS SHALL RECEIVE THREE COATS OF JOINT COMPOUND FEATHERED SMOOTH.

ALL GYPSUM BOARD SHALL BE IN ACCORDANCE WITH THE GYPSUM CONSTRUCTION HANDBOOK, PUBLISHED BY THE UNITED STATES GYPSUM COMPANY.

ALL MATERIALS SHALL BE FURNISHED BY THE UNITED STATES GYPSUM COMPANY, NATIONAL GYPSUM COMPANY, CELOTEX CORP., OR OTHER APPROVED MANUFACTURER.

USE WATERPROOF GYPSUM BOARD AT ALL TUBS, SHOWER SURROUNDS AND OTHER WET LOCATIONS.

DOOR & WINDOW NOTES:

ALL WINDOWS AND EXTERIOR DOORS SHALL COMPLY WITH THE ENERGY CONSERVATION CODE OF N.Y.S. AND OF THE COUNTY THE PROJECT IS LOCATED.

ALL DOORS SHALL CONFORM TO THE STATE CODE SIZE REQUIREMENTS. WINDOW SCHEDULE IS FOR DESIGN INTENT ONLY. THE CONTRACTOR SHALL VERIFY WITH OWNER ALL WINDOWS, DOOR, AND ADDITIONAL OPTIONS SUCH AS, COLOR, HARDWARE PRIOR TO ORDERING.

ALL WINDOWS AND DOORS SHALL BE INSTALLED WITH STRICT ACCORDANCE TO THEIR PARTICULAR MANUFACTURERS SPECIFICATIONS AND TO VERIFY WINDOW ROUGH OPENINGS WITH THE MANUFACTURER.

ALL HEADER HEIGHTS TO BE 6'-9" ABOVE THE FINISHED FLOOR, UNLESS NOTED OTHERWISE.

ALL WINDOWS IN HABITABLE SPACES SHALL COMPLY WITH THE RESIDENTIAL CODE OF THE N.Y.S.

EGRESS REQUIREMENTS: THESE WINDOWS SHALL HAVE A CODE OF THE N.Y.S. EGRESS REQUIREMENTS. THESE WINDOWS SHALL HAVE A SILL HEIGHT OF NOT GREATER THAN 44" ABOVE FINISHED FLOOR. THESE WINDOWS SHALL HAVE A MIN. OF 5.7 SQ. FT. CLEAR OPENING-5.0 FOR GROUND LEVEL AND 10.3 SQ. FT. OF GLASS AREA FOR NATURAL LIGHT.

ALL EGRESS BASEMENT WINDOWS THAT ARE BELOW THE FINISHED GRADE SHALL BE PROVIDED WITH AN APPROVED WINDOW WELL AND DRAINAGE AS PER THE N.Y.S. AND LOCAL CODES.

ALL GLAZING LESS THAN 18" ABOVE FINISHED FLOOR/SURFACE. AND ALL GLASS TUB AND/OR SHOWER ENCLOSURES SHALL BE TEMPERED GLASS.

ALL FIXED GLASS SHALL BE IN FRAMES TO MATCH THE MANUFACTURER OF OPERABLE WINDOWS.

ALL WINDOWS SHALL BE MANUFACTURED BY ANDERSEN OR EQUAL UNLESS SHOWN OTHERWISE.

ALL SKYLIGHTS, METAL FLUES, VENTS, STACKS OR ANY OTHER ROOF ACCESSORIES THAT REQUIRE FLASHING SHALL BE INSTALLED AS PER THE MANUFACTURERS SPECIFICATIONS. PROVIDE ADDITIONAL ALUMINUM BLIND FLASHING WHERE REQUIRED TO ENSURE WATER TIGHT CONDITIONS.

INSTALL FLASHING AT ALL ENTRANCE SLABS ADJACENT TO WALL CONSTRUCTION. PROVIDE ADEQUATE AIR SPACE BEHIND BRICK, STONE AND OTHER SIDINGS AS REQUIRED.

ALL BEADS, STOPS AND TRIM SHALL BE MANUFACTURED FROM RUST RESISTANT MATERIAL. ALL EXTERIOR SWING DOORS SHALL BE MANUFACTURED BY THERMA-TRU OR EQUAL UNLESS SHOWN OTHERWISE.

ALL WINDOW & DOOR JAMBS TO BE FOAM SEALED & WEATHER STRIPPED ON EXTERIOR AS PER THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE.

MECHANICAL NOTES:

ALL MECHANICAL WORK (FURNACE, BOILERS, HVAC, HOT WATER, ETC.) SYSTEMS, AND INSTALLATION SHALL COMPLY IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE THE PLUMBING, MECHANICAL, AND FUEL GAS CODES OF N.Y.S. AND INDUSTRY STANDARDS.

THE SYSTEMS SHALL BE DESIGNED AND GUARANTEED BY THE MECHANICAL SUBCONTRACTOR TO MEET AND/OR EXCEED THE FOLLOWING REQUIREMENTS: MAINTAIN 70° F INSIDE WHEN THE OUTSIDE TEMPERATURE IS 100° F AND MAINTAIN 70° F INSIDE WHEN THE OUTSIDE TEMPERATURE IS 0° F. ALL HEATING LINES SHALL CONTAIN ANTRIFREEZE.

LOCATE ATTIC MECHANICAL UNITS ON GALVANIZED DRIP PANS, DRAINED.

ALL DUCTS SHALL BE FIBERGLASS INSULATED TYPE (EXCEPT GALVANIZED UNDERSLAB DUCTWORK).

THE MECHANICAL SUBCONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE BUILDER FOR APPROVAL PRIOR TO ANY EACH SYSTEM SHALL BE SEPARATE AND COMPLETE WITH EACH SYSTEM HAVING SUPPLEMENTAL STRIP HEAT.

CARRIER, TRANE, LENNOX, AND YORK ARE APPROVED MANUFACTURERS FOR THE MECHANICAL UNIT. ANY SUBSTITUTES MUST BE APPROVED IN WRITING BY THE ARCHITECT OR OWNER.

ALL MECHANICAL UNITS IN ATTIC SHALL BE LOCATED IN SUCH MANNER THAT THEY SHALL NOT CAUSE AN OBSTRUCTION TO FUTURE ATTIC FLOORING.

PROVIDE THE PROPER FIRE RATED SEPARATION AT THE MECHANICAL ROOM (FURNACE, HVAC, HOT WATER, ETC. AS PER THE BUILDING CODE.

PROVIDE BACKDRAFT DAMPER EXHAUST DUCTS TO BE MIN. 0.016 INCHES RIGID METAL.

MAX HORIZONTAL LENGTH NOT TO EXCEED 25 FT. PROVIDE BOOSTER FAN IF GREATER THAN 25 FT. BATHS & LAVS WITHOUT OPERABLE WINDOWS OR WINDOWS WITH LESS THAN 1.5 S.F. OPENING SHALL BE MECHANICALLY VENTED TO EXTERIOR.

INTERMITTENT VENTILATION TO BE MIN. 50 CFM, CONTINUOUS VENTING TO BE MIN. 20 CFM.

STAR & RAILING NOTES: ALL STAIRS AND RAILINGS SHALL COMPLY WITH THE 2020 NYS INTERNATIONAL BUILDING CODES.

ALL STARWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT.

HANDRAILS SHALL NOT PROJECT INTO THE STAIRWAY MORE THAN 4".

COMBINED CLEAR WIDTH OF 27" IF THERE IS TWO HANDRAILS AND 31" IF THERE IS ONLY ONE HANDRAIL WITH A MINIMUM WALL CLEARANCE OF 1".

THE MINIMUM HEADROOM IN ALL PARTS OF STAIRWAYS SHALL NOT BE LESS THAN 6'-3" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM.

ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAR SURFACE AND SOFFITS PROTECTED ON THE ENCLOSED SIDE w/ 5/8" GYP. BD.

THE MAXIMUM RISER HEIGHT IS 7 3/4" THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

THE MINIMUM TREAD DEPTH IS 10". THE GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

WINDER TREADS ARE PERMITTED PROVIDED THAT THE WIDTH OF THE TREAD AT A POINT IS NOT MORE THAN 6" AND FROM THE NARROW SIDE IS NOT LESS THAN 6".

WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 6" AT ANY POINT. THE GREATEST WINDER TREAD DEPTH AT THE 12" WALK LINE SHALL COMPLY TO SEC 1011.4 & 1011.9.

A NOSING NOT LESS OF 3/4" AND NOT GREATER THAN 1 1/4" ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST BY MORE THEN 3/8".

OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE.

HANDRAIL HEIGHT SHALL BE A MINIMUM OF 34" AND MAX 38"

OPEN RAILINGS AND GUARDS SHALL NOT BE GREATER THAN 4".

IF DECKS OR PLATFORMS ARE 8'-0" AND GREATER ABOVE THE FINISHED GRADE THEN THE HANDRAIL SHALL BE 42" IN HEIGHT.

PLUMBING NOTES: ALL PLUMBING WORK EQUIPMENT AND FIXTURES SHALL BE PLACED AND INSTALLED PER THE 2020 BONY'S RESIDENTIAL CODE OF N.Y.S., THE PLUMBING CODE OF N.Y.S., AND INDUSTRY STANDARDS.

THE CONTRACTOR SHALL VERIFY WITH THE OWNER ALL FIXTURES, MODELS, COLORS ETC. PRIOR OF ORDERING.

INSTALL IRON PIPING UNDER ALL CONCRETE SLABS.

GAS LINES TO BE GROUNDED TO BLACK PIPE AT SERVICE ENTRY, VENT STACK SHALL EXTEND ABOVE ROOF 18" OF 12" ABOVE AVG SNOWFALL.

THE PLUMBING CONTRACTOR SHALL PROVIDE DRYER VENTS AS PER THE RESIDENTIAL CODE OF N.Y.S.

THE PLUMBING CONTRACTOR SHALL NOT DRILL OR CUT ANY STRUCTURAL GRIDERS, HEADERS, BEAMS WITHOUT PRIOR CONSENT FROM THE ARCHITECT.

DRILLING AND CUTTING OF FLOOR JOISTS SHALL BE IN STRICT ACCORDANCE WITH THE CODE AND/OR SAID JOIST MANUFACTURERS SPECIFICATIONS.

THE PLUMBING CONTRACTOR SHALL VERIFY FIXTURE AND PIPE LOCATIONS WITH OTHER TRADES INVOLVED WITH THIS JOB PRIOR TO INSTALLATION.

THE PLUMBING CONTRACTOR SHALL PROVIDE SHOWER PANS UNDER CLOTHES WASHER WITH A DRAIN CONNECTED TO THE WASTE PLUMBING SYSTEM.

THE PLUMBING CONTRACTOR SHALL PROVIDE WHOLE HOUSE BACK-FLOW PREVENTION VALVES AND ADEQUATE CLEAN-OUTS AS REQUIRED BY CODE.

PROVIDE 12"x12" ACCESS PANEL TO WHIRLPOOL TUB MOTOR AND SIMILAR EQUIPMENT.

THE PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL EQUIPMENT FLUES AS REQUIRED BY THE RESIDENTIAL CODE OF N.Y.S.

ALL HOSE BIBS SHALL BE FREEZE PROOF TYPE.

LOCATIONS AND QUANTITY SHALL BE AS PER OWNERS INSTRUCTIONS.

UNLESS SHOWN OTHERWISE A MINIMUM OF TWO (2) HOSE BIBS SHALL BE PROVIDED; ONE (1) LOCATED AT THE FRONT AND ONE (1) LOCATED AT REAR.

ELECTRICAL NOTES: ALL OUTLETS, FIXTURES AND ALL OTHER ELECTRICAL WORK SHALL BE PLACED, AND INSTALLED AS PER THE 2014 NFPA LATEST EDITION, THE LATEST EDITION OF THE N.E.C., N.B.F.U., AND THE LOCAL UTILITY CO.

ELECTRICAL PANELS SHALL BE FULLY RECESSED AND HAVE ALL CIRCUITS CLEARLY LABELED.

A MINIMUM OF 20 % OF CIRCUITS SHALL BE FOR FUTURE USE FOR EACH PANEL USED.

TELEPHONE AND TELEVISION OUTLETS SHALL BE WIRED AS PER LOCAL PROVIDERS SPECIFICATIONS TO A POINT OF ENTRY APPROVED BY OWNER UNLESS SHOWN ON PLANS OTHERWISE.

THE ELECTRICAL CONTRACTOR SHALL PROVIDE MECHANICAL EXHAUST FANS, FOR ALL RANGES, AND IN ALL LAUNDRY, TOILET, TUB, AND SHOWER AREAS. ALL FAN FIXTURES SHALL BE SWITCHED SEPARATELY AND VENTED TO THE EXTERIOR.

THE ELECTRICAL CONTRACTOR SHALL PROVIDE A SWITCH FOR THE DISHWASHER LOCATED IN SINK CAB. ALL RECEPTACLES SHOWN ABOVE THE COUNTER SHALL HAVE THE BOTTOM FLUSH WITH TOP OF THE BACK SPLASH.

THE ELECTRICAL CONTRACTOR SHALL NOT DRILL OR CUT ANY STRUCTURAL GRIDERS, HEADERS AND BEAMS WITHOUT PRIOR CONSENT FROM THE ARCHITECT.

THE CONTRACTOR SHALL CONSULT AND COORDINATE WITH OTHER TRADES INVOLVED WITH THIS PROJECT PRIOR TO INSTALLATION.

THE ELECTRICAL CONTRACTOR SHALL VERIFY WITH THE OWNER ALL ELECTRICAL DEVICE AND FIXTURE LOCATIONS.

THE ELECTRICAL CONTRACTOR SHALL VERIFY WITH THE OWNER ALL ELECTRICAL DEVICE AND FIXTURE OPTIONS SUCH AS COLOR, AND STYLE PRIOR OF ORDERING.

ALL SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED WITH BATTERY.

PROVIDE ONE SMOKE DETECTOR AS INDICATED ON PLANS AND AS PER ALL CODE REQUIREMENTS AND PROVIDE A MINIMUM OF ONE CARBON MONOXIDE DETECTOR ON EVERY FLOOR.

LOCATE SMOKE DETECTORS ON FLAT CEILINGS NON-CLOSER THAN 16" FROM WALL.

ALL OUTLETS TO BE TAMPERPROOF.

ARC-FAULT OUTLETS IN ALL ROOMS EXCEPT KITCHEN AND BATHS.

ALL RECESSED LIGHTS TO MEET "IC" REQUIREMENTS FOR AIR INFILTRATION.

50% OF LAMPS TO BE HIGH EFFICIENCY.

ENERGY NOTES: BUILDING TO COMPLY WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCONS). A PERMEATED CERTIFICATION SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

WHERE LOCATED ON AN ELECTRICAL PANEL, THE CERTIFICATE SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL OR

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BASEMENT ELECTRIC PLAN
SCALE: 3/16" - 1"=0"



FIRST FLOOR ELECTRIC PLAN
SCALE: 3/16" - 1"=0"

ELECTRICAL LEGEND	
⊡	LIGHT SWITCH
⊡⊡	3 WAY LIGHT SWITCH
⊡	DUPLEX RECEPTACLE OUTLET
⊡GFCI	GROUND FAULT INTERRUPTED OUTLET
⊡WP/GFI	WEATHER PROOF GROUND FAULT INTERRUPTED OUTLET W/ COVER.
●	CEILING MOUNTED LIGHT FIXTURE
⊡	RECESSED ON CLG. SPOT LIGHT FIXTURE
⊡EXT	EXTERIOR WALL MOUNTED LIGHT FIXTURE
⊡	CLG. VENT.
⊡COD	CARBON DIOXIDE DETECTOR
⊡SD	SMOKE DETECTOR-HARDWIRED W/ BATTERY BACKUP
—	CABLE

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REVISIONS.

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VILLAGE OF SOUTH
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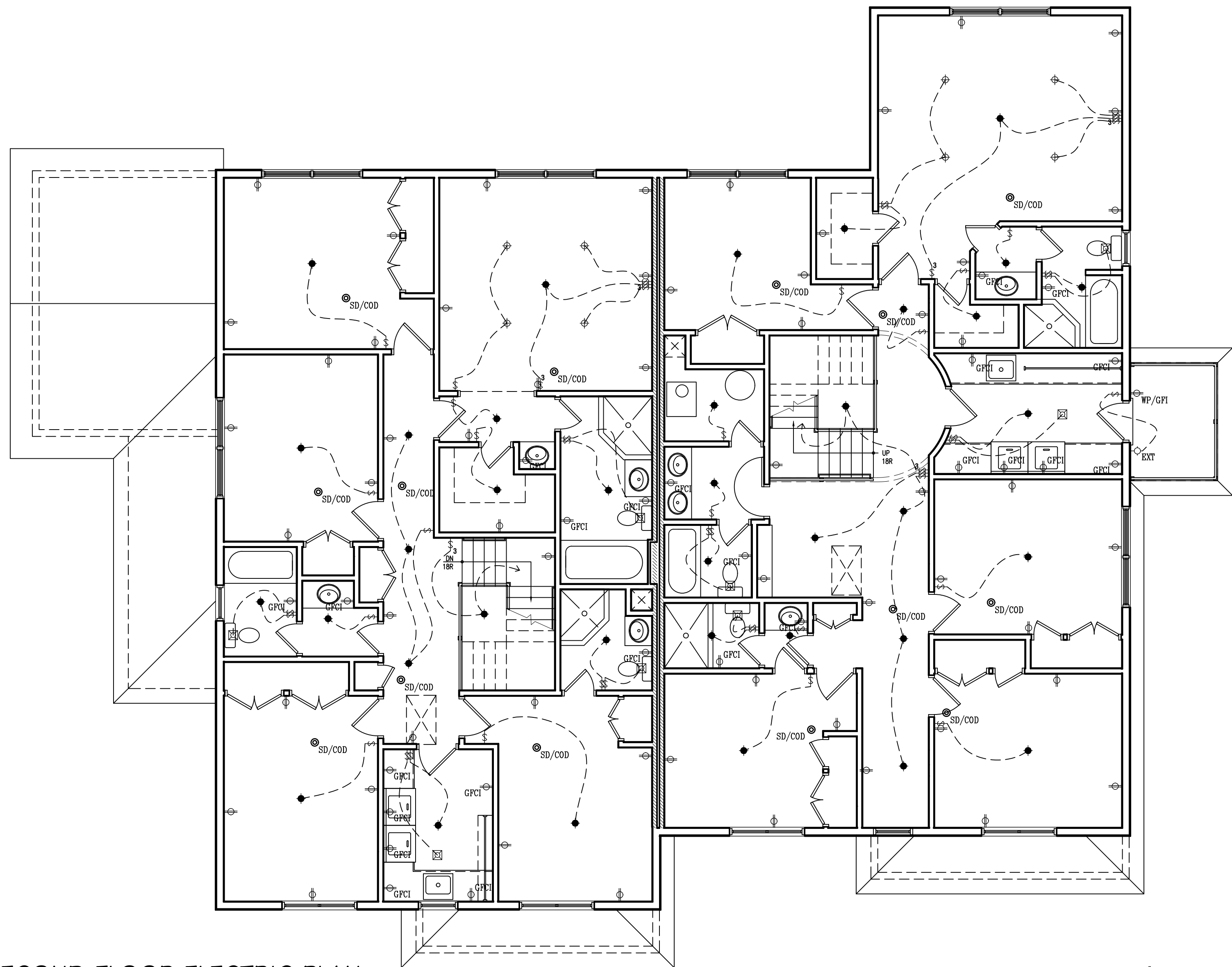
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DRAWN. J.R.
PROJECT #. 7325
SCALE. AS NOTED
SHEET TITLE.

ELECTRIC PLAN

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SECOND FLOOR ELECTRIC PLAN
SCALE: 3/16" = 1'-0"

ELECTRICAL LEGEND

- ⊠ LIGHT SWITCH
- ⊠ 3 WAY LIGHT SWITCH
- ⊠ DUPLEX RECEPTACLE OUTLET
- ⊠ GFCI GROUND FAULT INTERRUPTED OUTLET
- ⊠ WP/GFI WEATHER PROOF GROUND FAULT INTERRUPTED OUTLET W/ COVER.
- ⊠ CEILING MOUNTED LIGHT FIXTURE
- ⊠ RECESSED ON CLG. SPOT LIGHT FIXTURE
- ⊠ EXT EXTERIOR WALL MOUNTED LIGHT FIXTURE
- ⊠ CLG. VENT.
- ⊠ COOD CARBON DIOXIDE DETECTOR
- ⊠ SMOKE DETECTOR-HARDWIRED W/ BATTERY BACKUP
- ⊠ CABLE

WINDOW AND EXTERIOR DOOR SCHEDULE

BASEMENT										
WINDOW / DOOR	SIZE	QUANTITY	LOCATION	LOCATION	LOCATION	LOCATION	LOCATION	LOCATION	LOCATION	REMARKS
DOUBLE CASEMENT	58X53	2	R-KITCHEN	L-KITCHEN						
3-CASEMENT	87X59	2	R-DINING RM	L-DINING RM						
2-DOUBLE HUNG	71X59	3	R-KITCHEN	R-MASTER BR.	L-MASTER BR.					
HUNING	30X24	2	R-BATH RM	L-BATH RM						* FROSTED
DOUBLE HUNG	41X59	7	R-BEDRM #1	R-BEDRM #2	R-BEDRM #3	R-BEDRM #4	L-BEDRM #1	L-BEDRM #2	L-BEDRM #3	L-BEDRM #4

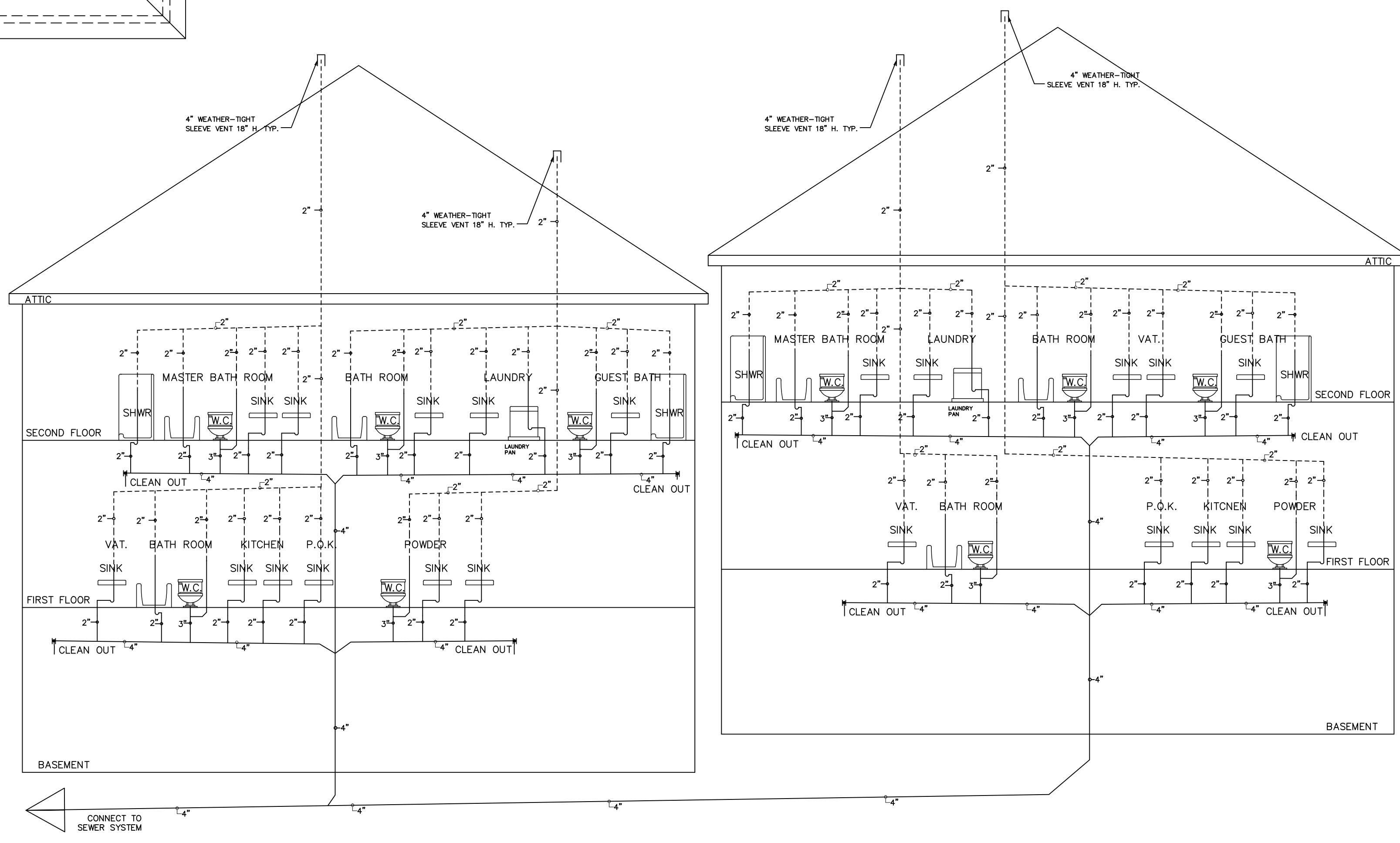
FIRST FLOOR										
WINDOW / DOOR	SIZE	QUANTITY	LOCATION	LOCATION	LOCATION	LOCATION	LOCATION	LOCATION	LOCATION	REMARKS
IN-SWING D-DOOR	72X96	2	R-DINING RM	L-DINING RM						
SINGLE CASEMENT	29X72	6	R-DINING RM	R-DINING RM	L-PLAY RM	L-PLAY RM	L-DINING RM	L-DINING RM		LINE 40 - 45'
4-CASEMENT	116X72	1	L-KITCHEN							* COMBO
2-CMT/PICTURE	29X59/59X59	1	L-KITCHEN							
4-CASEMENT	29X59	1	R-KITCHEN							
3-CASEMENT	87X72	2	R-KITCHEN	L-DINING RM						
DOUBLE HUNG	29X59	1	R-P.O. KTON							* CORRECTION
DOUBLE HUNG	37X59	2	R-STUDY	L-STUDY						* CORRECTION
3-CASEMENT	72X72	1	R-PLAY RM							* CORRECTION
PICTURE	30X72	5	R-PLAY RM	R-PLAY RM	R-PLAY RM	R-PLAY RM	R-PLAY RM			* CORRECTION
SLIDING DOOR	72X96	2	R-PLAY RM	L-PLAY RM						
DOUBLE HUNG	37X65	1	R-OFFICE							
2-DOUBLE HUNG	37X65	1	L-OFFICE							
DOUBLE HUNG	24X47	1	L-OFFICE (BR)							* FROSTED

SECOND FLOOR										
WINDOW / DOOR	SIZE	QUANTITY	LOCATION	LOCATION	LOCATION	LOCATION	LOCATION	LOCATION	LOCATION	REMARKS
DOUBLE CASEMENT	58X59	4	R-BEDRM #4	R-BEDRM #5	L-BEDRM #4	L-BEDRM #5				
SINGLE CASEMENT	29X59	2	R-HALLWAY	L-LAUNDRY						
2-DOUBLE HUNG	74X57	4	R-BEDRM #3	L-BEDRM #2	L-BEDRM #3	L-MASTER BR.				
DOUBLE HUNG	37X57	1	R-BEDRM #2							
DOUBLE HUNG	24X47	2	R-MASTER BR.	L-BATHROOM						* FROSTED
IN-SWING DOOR	30X96	1	R-LAUNDRY							
SINGLE CASEMENT	32X59	3	R-MASTER BR.	R-MASTER BR.	R-MASTER BR.					

PLUMBING NOTES

- FOLLOW ALL LOCAL & STATE PLUMBING CODES.
- INSTALL IRON PIPING UNDER ALL CONC. SLAB.
- PROVIDE A POSITIVE DRAIN & FLOW ON ALL PIPING & DRAINS.

PLUMBING RISER DIAGRAM
NO SCALE



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PROPOSED ONE 4 RESIDENTIAL UNITS FOR
327 LAKE SHORE DR LLC
VILLAGE OF SOUTH BLOOMING GROVE ORANGE COUNTY N.Y.

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DRAWN: J.R.
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SCALE: AS NOTED
SHEET TITLE:

**ELECTRIC PLAN
PLUMBING DIAGRAM**

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FRONT ELEVATION
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"

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REAR ELEVATION
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"

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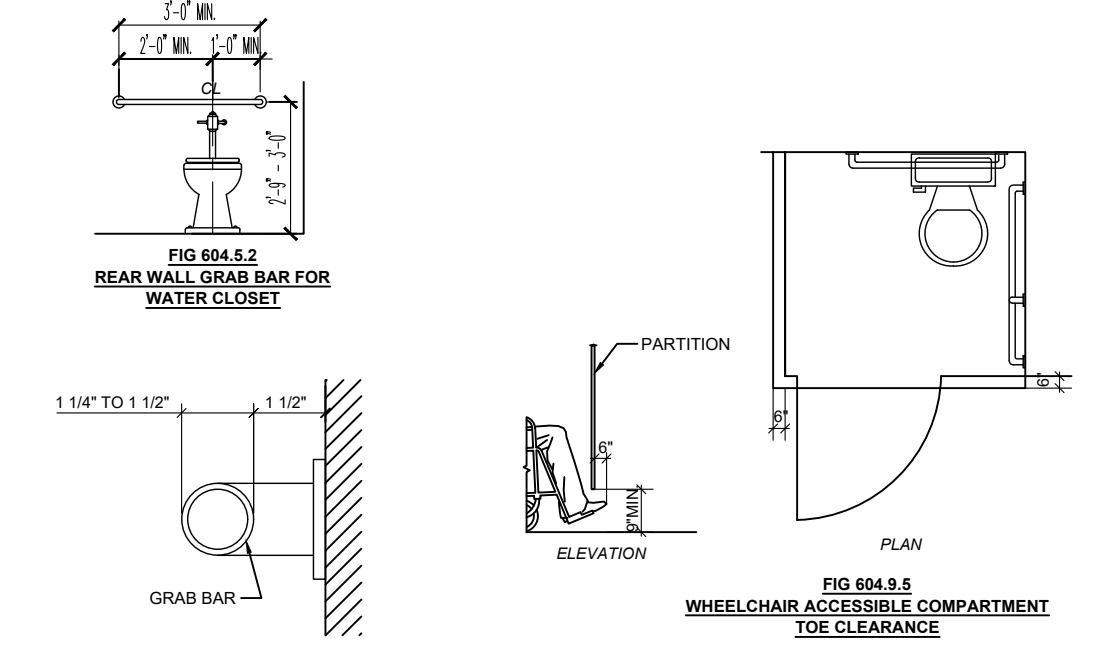
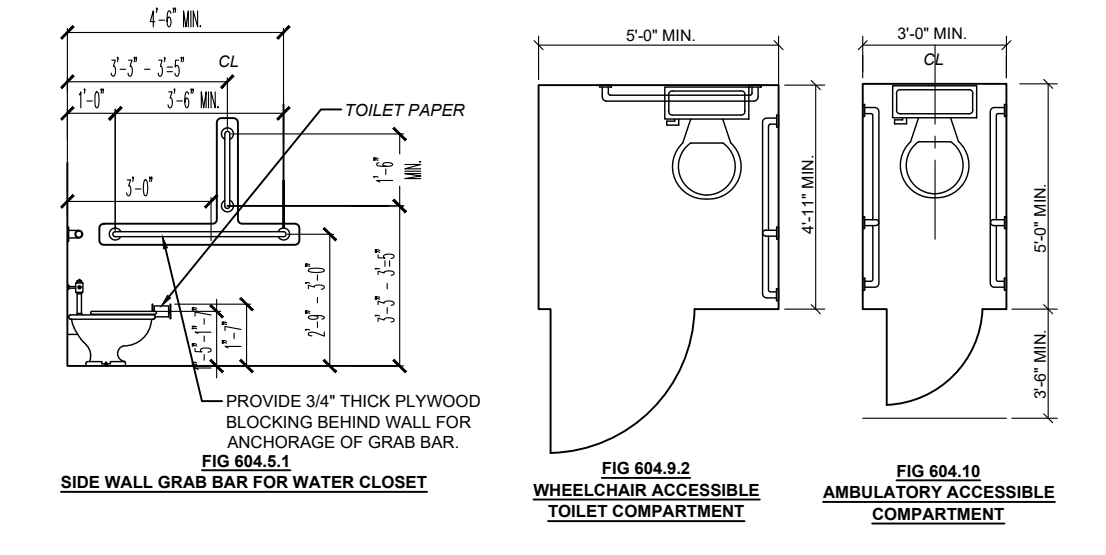
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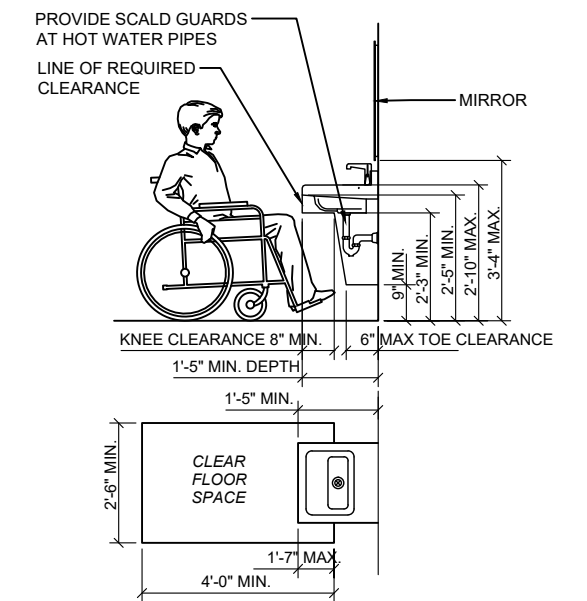
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SINGLE USER TOILET
SCALE: 3/4"=1'-0" 1



SINK OR VANITY
SCALE: 1/4"=1'-0" 3

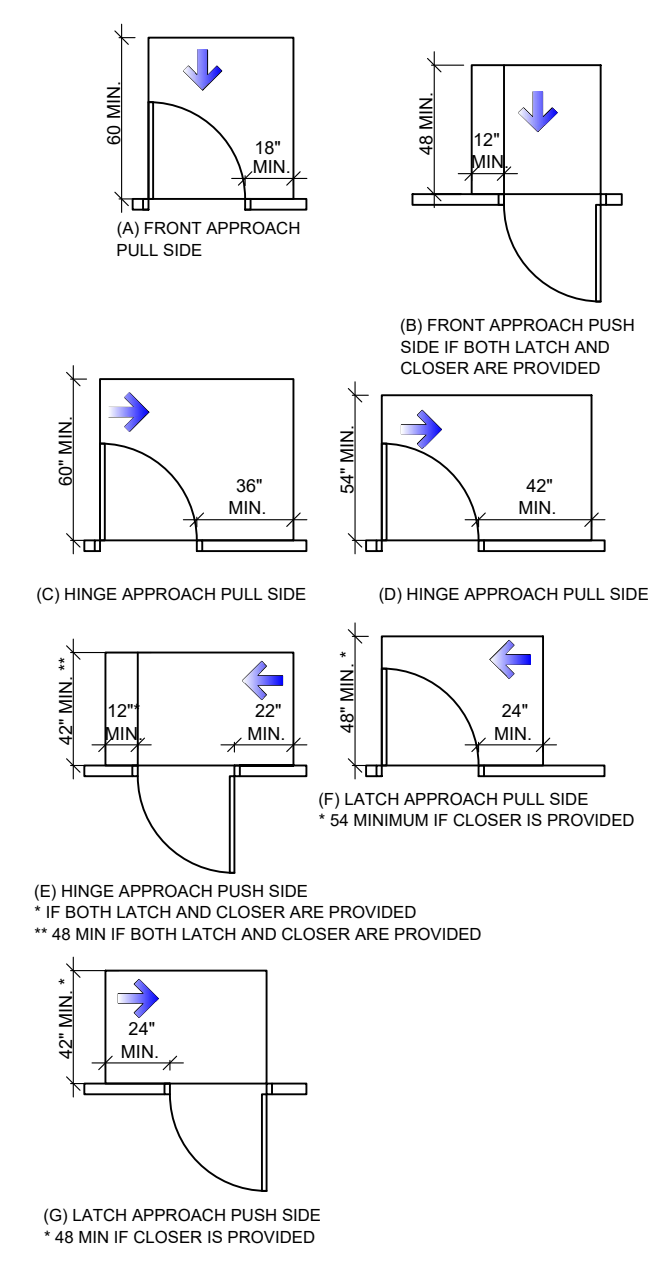


TABLE 404.2.4.1 MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES

APPROACH DIRECTION	DOOR OR GATE SIDE	PERPENDICULAR TO DOORWAY	Parallel to Doorway (beyond latch side unless noted)
FROM FRONT	PULL	60"	18"
FROM FRONT	PUSH	48"	0" ¹
FROM HINGE SIDE	PULL	60"	36"
FROM HINGE SIDE	PULL	54"	42"
FROM HINGE SIDE	PUSH	42" ²	22" ³
FROM LATCH SIDE	PULL	48" ⁴	24"
FROM LATCH SIDE	PUSH	42" ⁴	24"

1. ADD 12 INCHES IF CLOSER AND LATCH ARE PROVIDED.
2. ADD 6 INCHES IF CLOSER AND LATCH ARE PROVIDED.
3. BEYOND HINGE SIDE.
4. ADD 6 INCHES IF CLOSER IS PROVIDED.

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