

P1

EXISTING SITE

LANDS NOW OR FORMERLY OF
CHAYA LLIOVITS
TAX ID: 206-1-25

APPROXIMATE BOUNDARY
OF EXISTING PAVEMENT.
APPROX. 22,234 SF



DATE	REVISION DESCRIPTION	REV #



NMJ CAESAR, P.E.
LIC. NO. 101354

CLIENT: Rolling Hills Condo Assoc.
CLIENT NUMBER: 845.325.5602
PROJECT ADDRESS: 23 TANAGER RD., MONROE NY, 10950

DESIGNED BY: NMJ Caesar, P.E.
DATE: 2 FEB 22
PROJECT: Rolling Hills Parking
PROJECT NUM: P097

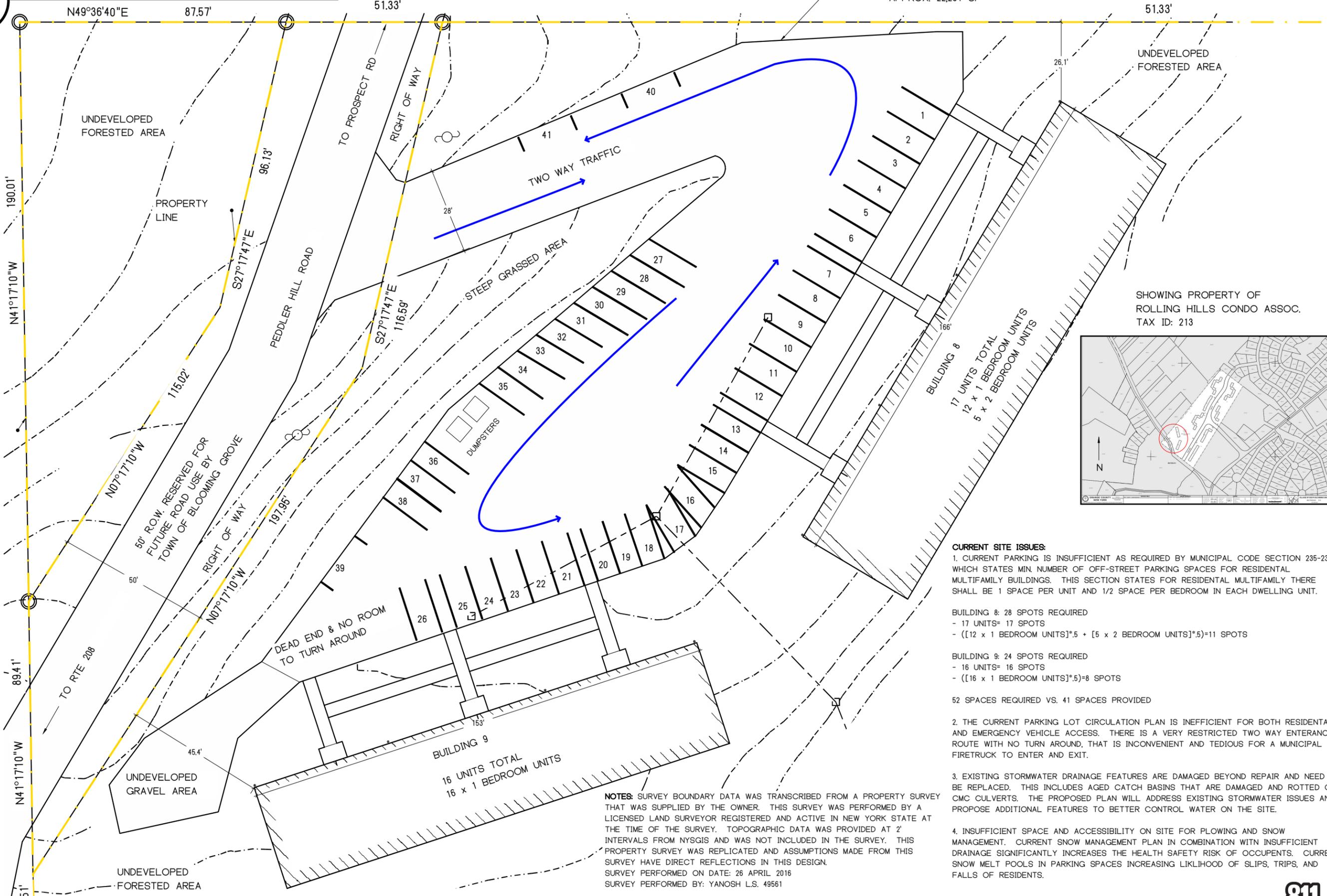
COMPANY: CAESAR ENGINEERING D.P.C.
CONTACT: 845.391.0148
contact@caesarengineering.work
ADDRESS: 367 WINDSOR HWY #411
NEW WINDSOR, NY, 12553

SHEET IDENTIFICATION
P1
EXISTING SITE



LANDS NOW OR FORMERLY OF
BULL MINE LLC
TAX ID: 212-1-14

PROPERTY LINE



SHOWING PROPERTY OF
ROLLING HILLS CONDO ASSOC.
TAX ID: 213

CURRENT SITE ISSUES:

- CURRENT PARKING IS INSUFFICIENT AS REQUIRED BY MUNICIPAL CODE SECTION 235-23 WHICH STATES MIN. NUMBER OF OFF-STREET PARKING SPACES FOR RESIDENTAL MULTIFAMILY BUILDINGS. THIS SECTION STATES FOR RESIDENTAL MULTIFAMILY THERE SHALL BE 1 SPACE PER UNIT AND 1/2 SPACE PER BEDROOM IN EACH DWELLING UNIT.

BUILDING 8: 28 SPOTS REQUIRED
- 17 UNITS= 17 SPOTS
- ((12 x 1 BEDROOM UNITS)*.5 + [5 x 2 BEDROOM UNITS]*.5)=11 SPOTS

BUILDING 9: 24 SPOTS REQUIRED
- 16 UNITS= 16 SPOTS
- ((16 x 1 BEDROOM UNITS)*.5)=8 SPOTS

52 SPACES REQUIRED VS. 41 SPACES PROVIDED

- THE CURRENT PARKING LOT CIRCULATION PLAN IS INEFFICIENT FOR BOTH RESIDENTAL AND EMERGENCY VEHICLE ACCESS. THERE IS A VERY RESTRICTED TWO WAY ENTERANCE ROUTE WITH NO TURN AROUND, THAT IS INCONVENIENT AND TEDIOUS FOR A MUNICIPAL FIRETRUCK TO ENTER AND EXIT.

- EXISTING STORMWATER DRAINAGE FEATURES ARE DAMAGED BEYOND REPAIR AND NEED TO BE REPLACED. THIS INCLUDES AGED CATCH BASINS THAT ARE DAMAGED AND ROTTED OUT CMC CULVERTS. THE PROPOSED PLAN WILL ADDRESS EXISTING STORMWATER ISSUES AND PROPOSE ADDITIONAL FEATURES TO BETTER CONTROL WATER ON THE SITE.

- INSUFFICIENT SPACE AND ACCESSIBILITY ON SITE FOR PLOWING AND SNOW MANAGEMENT. CURRENT SNOW MANAGEMENT PLAN IN COMBINATION WITH INSUFFICIENT DRAINAGE SIGNIFICANTLY INCREASES THE HEALTH SAFETY RISK OF OCCUPANTS. CURRENT SNOW MELT POOLS IN PARKING SPACES INCREASING LIKLIHOOD OF SLIPS, TRIPS, AND FALLS OF RESIDENTS.

NOTES: SURVEY BOUNDARY DATA WAS TRANSCRIBED FROM A PROPERTY SURVEY THAT WAS SUPPLIED BY THE OWNER. THIS SURVEY WAS PERFORMED BY A LICENSED LAND SURVEYOR REGISTERED AND ACTIVE IN NEW YORK STATE AT THE TIME OF THE SURVEY. TOPOGRAPHIC DATA WAS PROVIDED AT 2' INTERVALS FROM NYSGIS AND WAS NOT INCLUDED IN THE SURVEY. THIS PROPERTY SURVEY WAS REPLICATED AND ASSUMPTIONS MADE FROM THIS SURVEY HAVE DIRECT REFLECTIONS IN THIS DESIGN.
SURVEY PERFORMED ON DATE: 26 APRIL 2016
SURVEY PERFORMED BY: YANOSH L.S. 49561



CONCEPTUAL SITE PLAN

LANDS NOW OR FORMERLY OF
CHAYA LLIOVITS
TAX ID: 206-1-25

PROPOSED GRAVITY
RETAINING WALL 1



REV #	REVISION DESCRIPTION	DATE

DATE: 09 FEB 22

NICHOLAS M.J. CAESAR
REGISTERED PROFESSIONAL ENGINEER
101354

NMJ CAESAR, P.E.
LIC. NO. 101354

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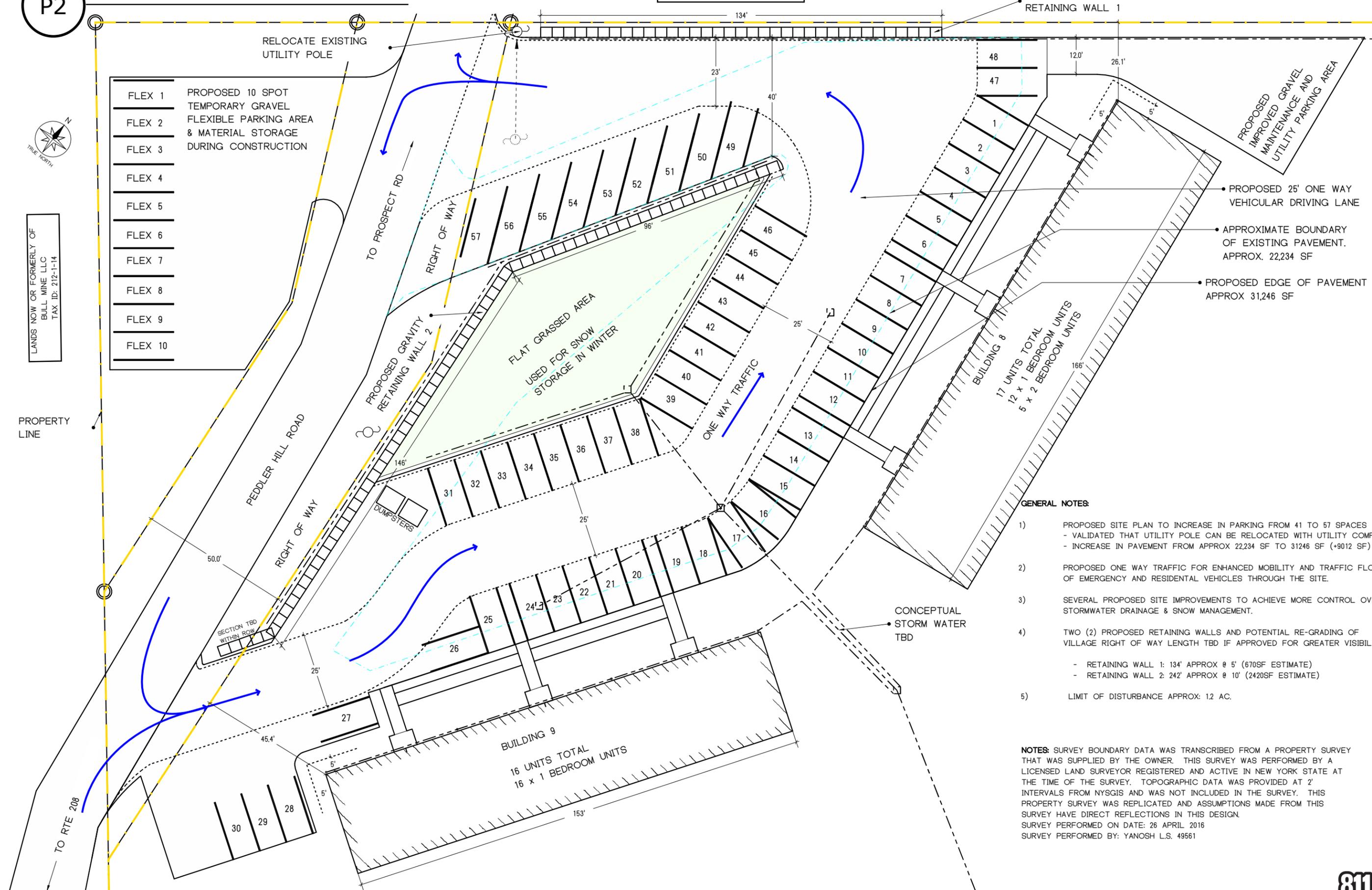
SHEET IDENTIFICATION
P2
CONCEPTUAL SITE PLAN



LANDS NOW OR FORMERLY OF
BULL MINE LLC
TAX ID: 212-1-14

PROPERTY LINE

- FLEX 1 PROPOSED 10 SPOT TEMPORARY GRAVEL
- FLEX 2 FLEXIBLE PARKING AREA & MATERIAL STORAGE DURING CONSTRUCTION
- FLEX 3
- FLEX 4
- FLEX 5
- FLEX 6
- FLEX 7
- FLEX 8
- FLEX 9
- FLEX 10



- PROPOSED GRAVITY RETAINING WALL 1
- PROPOSED IMPROVED GRAVEL MAINTENANCE AND UTILITY PARKING AREA
- PROPOSED 25' ONE WAY VEHICULAR DRIVING LANE
- APPROXIMATE BOUNDARY OF EXISTING PAVEMENT. APPROX. 22,234 SF
- PROPOSED EDGE OF PAVEMENT APPROX 31,246 SF

GENERAL NOTES:

- 1) PROPOSED SITE PLAN TO INCREASE IN PARKING FROM 41 TO 57 SPACES
- VALIDATED THAT UTILITY POLE CAN BE RELOCATED WITH UTILITY COMPANY
- INCREASE IN PAVEMENT FROM APPROX 22,234 SF TO 31,246 SF (+9012 SF)
- 2) PROPOSED ONE WAY TRAFFIC FOR ENHANCED MOBILITY AND TRAFFIC FLOW OF EMERGENCY AND RESIDENTIAL VEHICLES THROUGH THE SITE.
- 3) SEVERAL PROPOSED SITE IMPROVEMENTS TO ACHIEVE MORE CONTROL OVER STORMWATER DRAINAGE & SNOW MANAGEMENT.
- 4) TWO (2) PROPOSED RETAINING WALLS AND POTENTIAL RE-GRADING OF VILLAGE RIGHT OF WAY LENGTH TBD IF APPROVED FOR GREATER VISIBILITY.
 - RETAINING WALL 1: 134' APPROX @ 5' (670SF ESTIMATE)
 - RETAINING WALL 2: 242' APPROX @ 10' (2420SF ESTIMATE)
- 5) LIMIT OF DISTURBANCE APPROX: 1.2 AC.

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