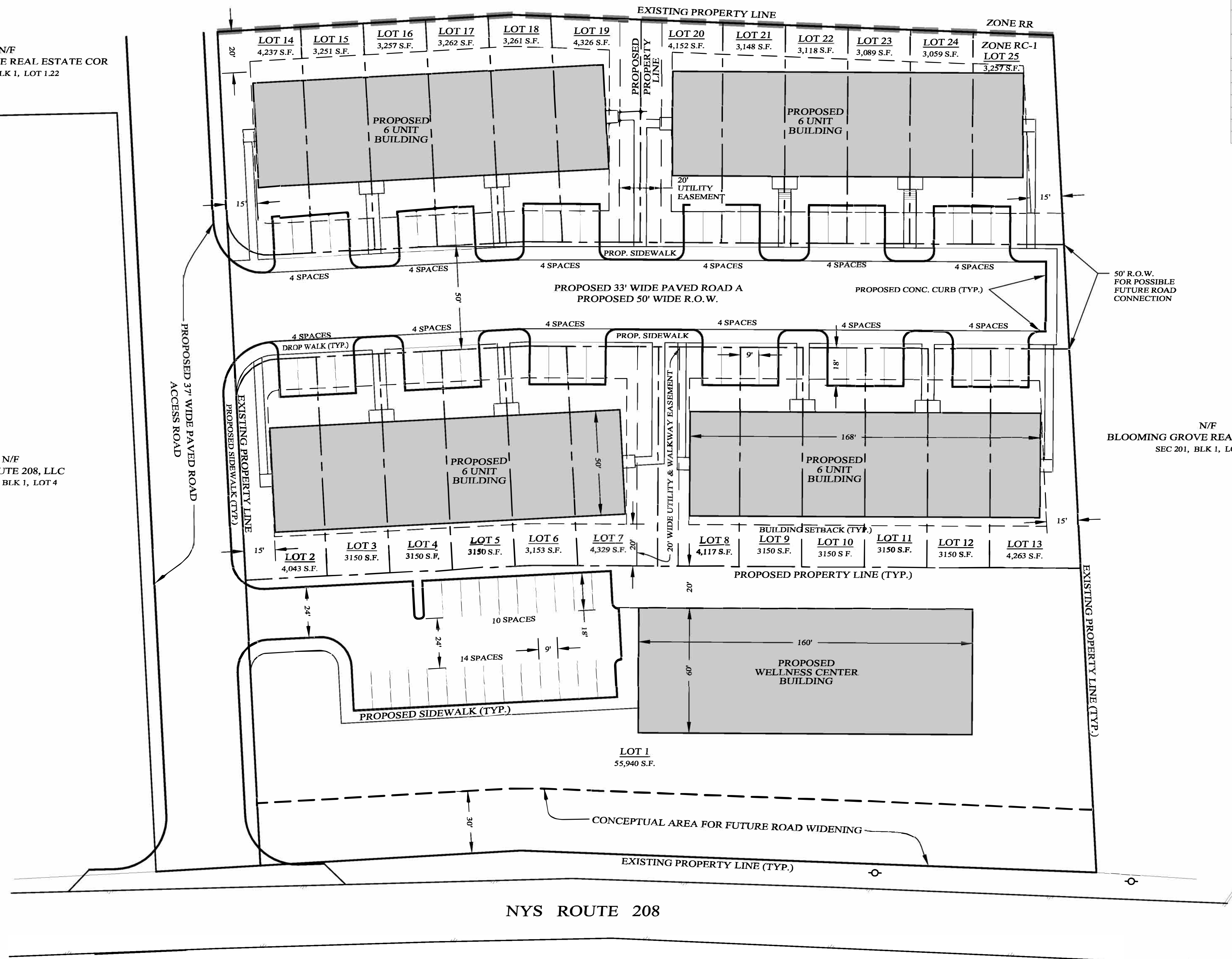




N/F
BLOOMING GROVE REAL ESTATE CORP
SEC 201, BLK 1, LOT 1.22

N/F
BLOOMING GROVE REAL ESTATE CORP
SEC 201, BLK 1, LOT 1.22

N/F
1032 ROUTE 208, LLC
SEC 201, BLK 1, LOT 4



NYS ROUTE 208

GRAPHIC SCALE



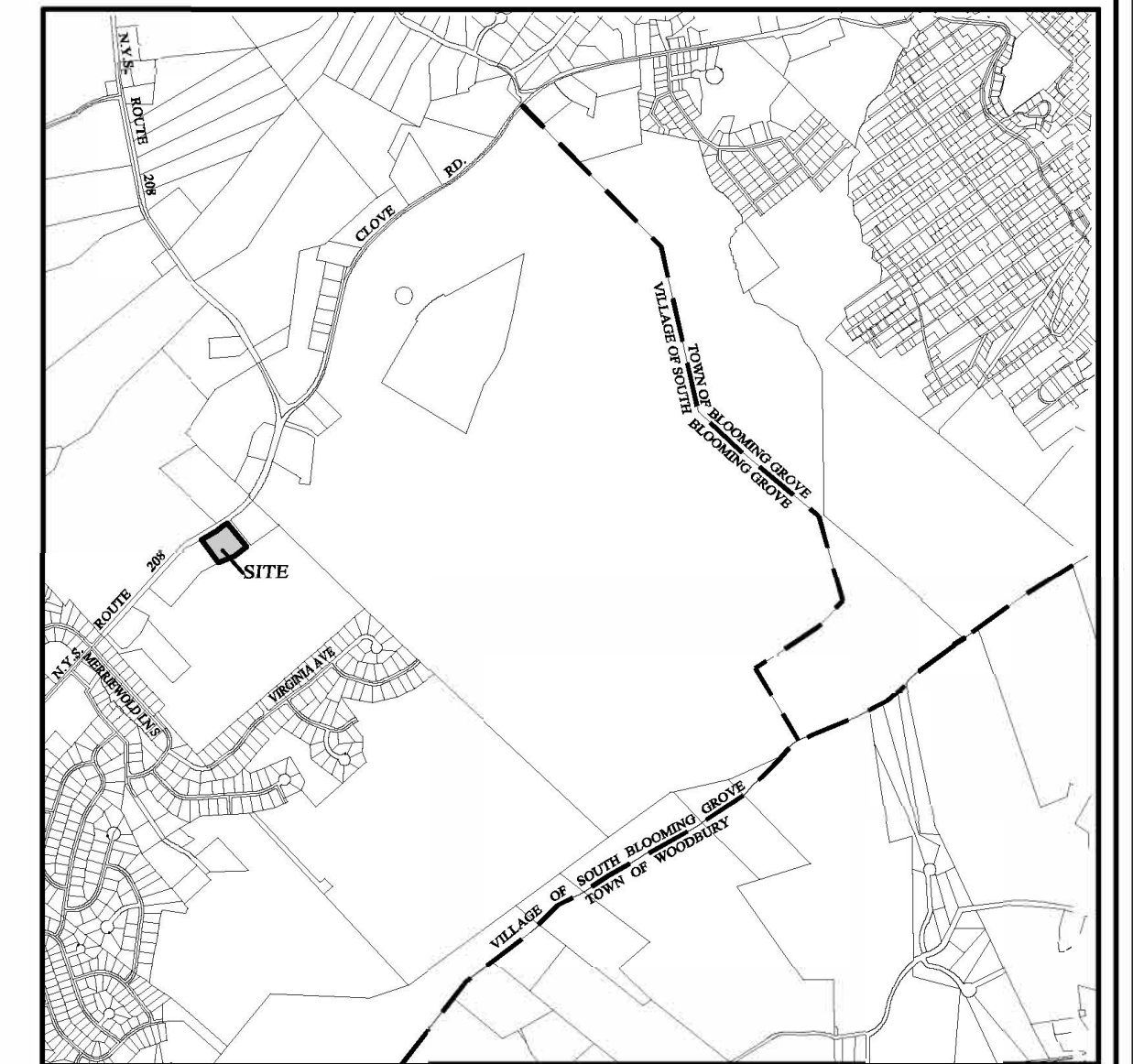
(IN FEET)
1 inch = 30 ft.

LEGEND

EXISTING PROPERTY LINE
PROPOSED PROPERTY LINE
EXISTING 2' CONTOUR LINE
EXISTING 10' CONTOUR LINE
PROPOSED CONTOUR LINE
EXISTING EDGE OF PAVEMENT
BUILDING SETBACK

VILLAGE OF SOUTH BLOOMING GROVE BULK REQUIREMENTS

| LOT DIMENSIONS | | ZONING DISTRICT |
|--------------------------|--|--------------------|
| | | RURAL CROSSROADS I |
| MIN. LOT SIZE | | 3,000 S.F. |
| MIN. FRONTAGE | | 30 FEET |
| MIN. BUILDING COVERAGE | | 50% |
| PRIMARY STRUCTURE | | |
| MIN. FRONT YARD SETBACK | | 15 FEET |
| MIN. SIDE YARD | | 15 FEET |
| MIN. REAR YARD SETBACK | | 20 FEET |
| MAXIMUM HEIGHT (STORIES) | | 3 STORIES |
| MAXIMUM HEIGHT (FEET) | | 35 FEET |
| ACCESSORY STRUCTURE | | |
| MIN. SIDE YARD | | 10 FEET |
| MIN. REAR YARD SETBACK | | 10 FEET |
| MAXIMUM HEIGHT (STORIES) | | 2 STORIES |
| MAXIMUM HEIGHT (FEET) | | 20 FEET |



LOCATION MAP
SCALE : 1" = 2,000'

GENERAL NOTES:

1. VILLAGE OF SOUTH BLOOMING GROVE TAX MAP DESIGNATION: SEC. 207, BLOCK 1, LOT 1.23.
2. PARCEL LOCATED IN THE RC-1 ZONING DISTRICT.
3. AREA OF PARCEL = 3.68 AC.
4. BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY MAP ENTITLED: "SUBDIVISION FOR 20 SHANNON LANE" AS PREPARED BY PETROCCIONE, P.E. AND FILED WITH THE CLERK OF THE COUNTY OF COOK AS MAP 418-00-0001.
5. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTHS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS CAN BE IDENTIFIED BY THE DESIGNS HEREON IN APPROPRIATE OR DEFECTIVE.
6. BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH BUILDING SHALL BE FURNISHED ON THE INDIVIDUAL ARCHITECTURAL DRAWINGS OF APPLICATION. THE BUILDING SHALL BE CONSTRUCTED SO ALL STRUCTURES SHALL CONFORM TO THE APPROVED BUILD ZONING REQUIREMENTS.

ZONING NOTES:

THE PLAN MEETS ALL REQUIREMENTS OF THE VILLAGE OF SOUTH BLOOMING GROVE ZONING CODE §235-14.2.A THROUGH K. AS FOLLOWS:

A. MINIMUM LOT SIZE SHALL BE 3,000 SQUARE FEET; PROVIDED,
ALL BUILDINGS SHALL BE SERVED BY PUBLIC WATER AND SEWER; PROPOSED.

B, C, D. NOT APPLICABLE

E. THE SETBACKS AND BUILD-TO-LINES SHALL BE ESTABLISHED BY THE PLANNING BOARD AT THE TIME OF SITE PLAN APPROVAL. THE APPLICANT REQUESTS THE PLANNING BOARD APPROVE SIDE SETBACKS TO THE BUILD-TO-LINE FOR THE CENTER UNITS OF EACH RESIDENTIAL BUILDING.

F. WHENEVER POSSIBLE, ACCESS DRIVES AND CIRCULATION PATTERNS SHALL MINIMIZE CURBS CUTS TO PUBLIC ROADS, JOINT DRIVEWAYS FOR ADJOINING PROPERTIES IS ENCOURAGED: PROVIDED. (CHRIS- PLEASE DESIGN IT WITH JOINT DRIVEWAYS)

G. MAXIMUM FOOTPRINT OF ANY STRUCTURE SHALL BE 10,000 SQUARE FEET; PROVIDED (ALL RESIDENTIAL BUILDINGS ARE PROPOSED WITH 9,000 SQUARE FEET FOOTPRINT AND THE WELLNESS CENTER IS PROPOSED WITH A FOOTPRINT OF 9,500).

H. AT LEAST 10% OF THE DWELLING UNITS SHALL BE AFFORDABLE; PROVIDED, (CHRIS- PLEASE PLACE A NOTE ON 2 CENTER UNITS THAT THEY ARE AFFORDABLE)

I & J. NOT APPLICABLE

K. IN MULTI-ACRE DEVELOPMENTS PROVISIONS SHOULD BE MADE FOR HIKING OR WALKING PATHS THROUGH THE DEVELOPMENT, ALONG PUBLIC ROADS, TO COMMERCIAL AND SERVICE BUSINESSES AND TO THE LOT LINES OF ADJOINING PROPERTIES: PROVIDED (CHRIS - SOUTH AND NORTH HAVE THE PROPOSED 50 FOOT RIGHT OF WAY ROAD WHICH TRAVELS FROM ONE SIDE OF THE PROPERTY TO THE OTHER, FROM EAST TO WEST, WE HAVE A 20 FOOT RIGHT OF WAY FOR INFRASTRUCTURE WHICH CAN BE USED FOR PATHWAYS).

SHEET INDEX

SHEET #1 - SITE PLAN
SHEET #2 - SUBDIVISION PLAT
SHEET #3 - GRADING & DRAINAGE PLAN
SHEET #4 - ROAD PROFILES & DETAILS

SOUTHGROVE

VILLAGE OF SOUTH BLOOMING GROVE,
PROJECT TITLE ORANGE COUNTY, NEW YORK

SITE PLAN

DRAWING TITLE

KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC

5 St. Stephens Lane, Warwick, NY 10990
(845) 988-0620

| | | | | | | | |
|--|----------------------------|-----------------|--------------------------|--|------------------------------|--------------------------------|--------------------------|
| | | | | KIRK ROTHER, P.E. CONSULTING ENGINEER, PLLC 5 St. Stephens Lane, Warwick, NY 10990 (845) 988-0620 | | | |
| 06—23—22 | INITIAL PREPARATION | | KIRK ROTHER, P.E. | N.Y.S. LIC. NO. 079053 | | DATE | |
| UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209B, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID. | | | | D.O.T. SHEET # N/A | D.E.C. SHEET # N/A | O.C.H.D. SHEET # N/A | SHEET # 1 OF 4 |
| CAD # | PROJECT # | SCALE | | | | | |
| 20129 SP | 20129 Q | AS SHOWN | | | | | |

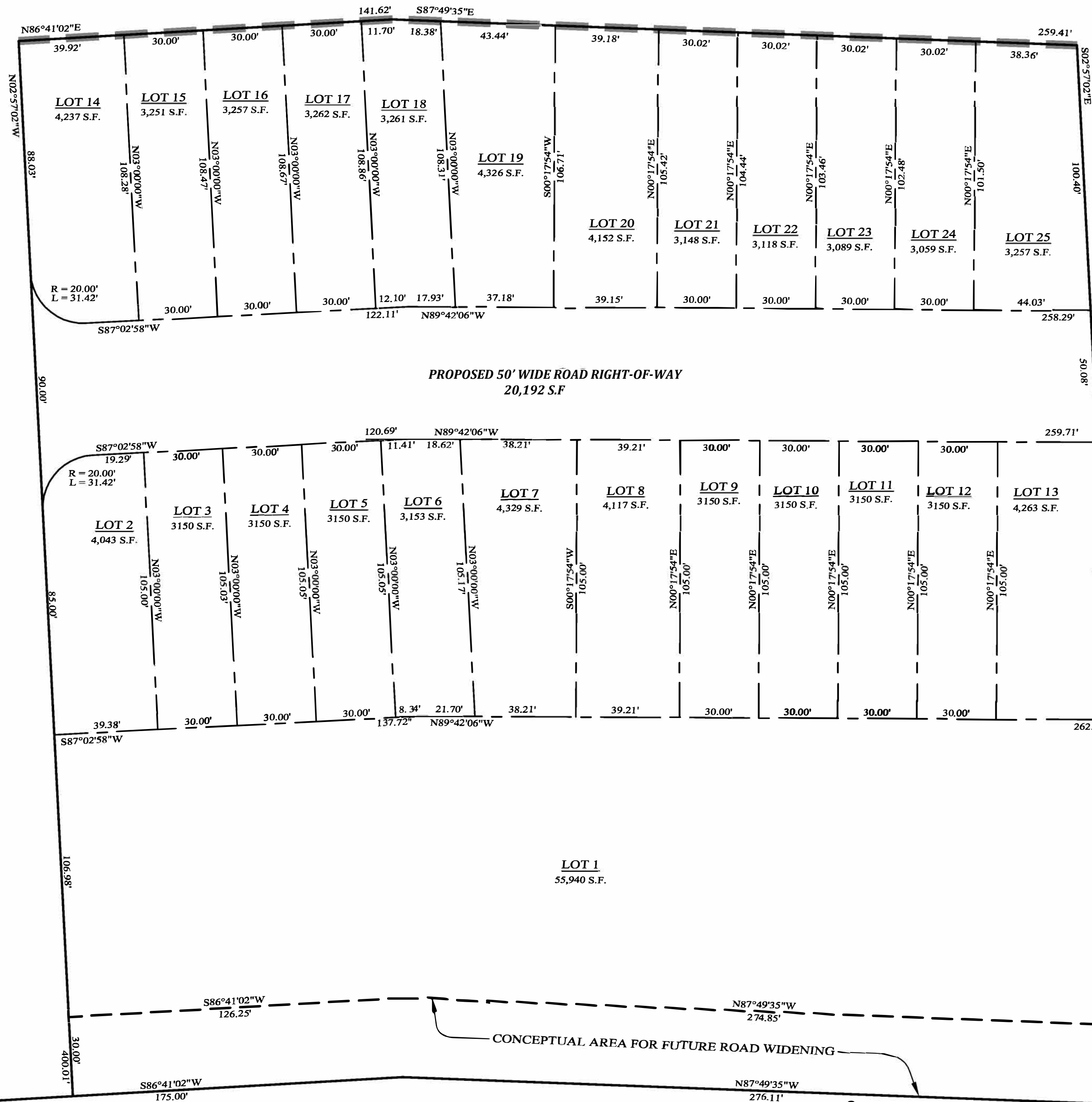


N/F
BLOOMING GROVE REAL ESTATE COR
SEC 201, BLK 1, LOT 1.22

N/F
BLOOMING GROVE REAL ESTATE COR
SEC 201, BLK 1, LOT 1.22

N/F
1032 ROUTE 208, LLC
SEC 201, BLK 1, LOT 4

N/F
BLOOMING GROVE REAL ESTATE COR
SEC 201, BLK 1, LOT 1.22



NYS ROUTE 208

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

LEGEND

| | |
|---------------------------|-------------------|
| EXISTING PROPERTY LINE | ————— |
| PROPOSED PROPERTY LINE | ————— |
| EXISTING 2' CONTOUR LINE | ----- |
| EXISTING 10' CONTOUR LINE | ----- |
| PROPOSED CONTOUR LINE | ----- (600) ----- |
| EXISTING EDGE OF PAVEMENT | ----- |
| BUILDING SETBACK | ----- |

SOUTHGROVE

VILLAGE OF SOUTH BLOOMING GROVE,
PROJECT TITLE ORANGE COUNTY, NEW YORK

SUBDIVISION
PLAT

DRAWING TITLE

KIRK ROTHER, P.E.

CONSULTING ENGINEER, PLLC

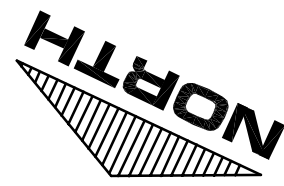
5 St. Stephens Lane, Warwick, NY 10990
(845) 988-0620

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07-05-22 INITIAL PREPARATION

KIRK ROTHER, P.E. N.Y.S. LIC. NO. 078053 DATE

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|---|------------------------|------------------------|--------------------------|-------------------|
| UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID. | D.O.T. SHEET # N.A. | D.E.C. SHEET # N.A. | O.C.H.D. SHEET # N.A. | SHEET # 2 OF 4 |
| | CAD # 20129 SP | PROJECT # 20129.0 | SCALE AS SHOWN | |



GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

LEGEND

| | |
|---------------------------|-----|
| EXISTING PROPERTY LINE | --- |
| PROPOSED PROPERTY LINE | --- |
| EXISTING 2' CONTOUR LINE | --- |
| EXISTING 10' CONTOUR LINE | --- |
| PROPOSED CONTOUR LINE | --- |
| EXISTING EDGE OF PAVEMENT | --- |
| BUILDING SETBACK | --- |

SOUTHGROVE

VILLAGE OF SOUTH BLOOMING GROVE,
ORANGE COUNTY, NEW YORK

GRADING &
DRAINAGE PLAN

DRAWING TITLE

KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC

5 St. Stephens Lane, Warwick, NY 10990
(845) 988-0620

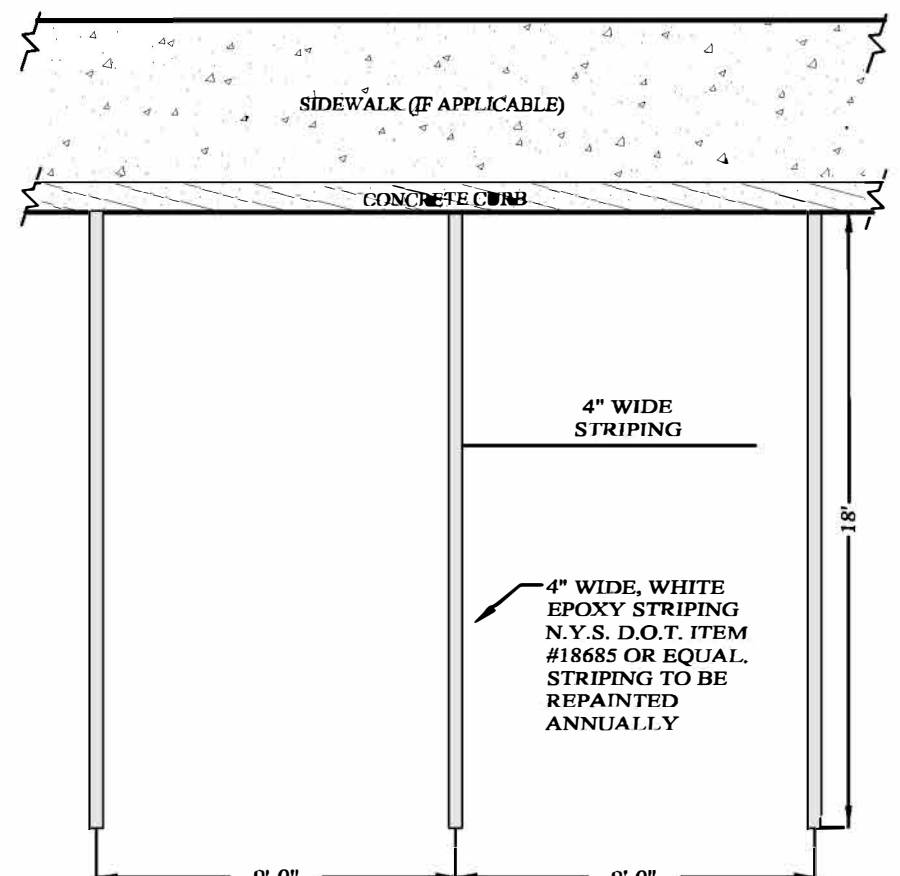
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07-05-22 INITIAL PREPARATION

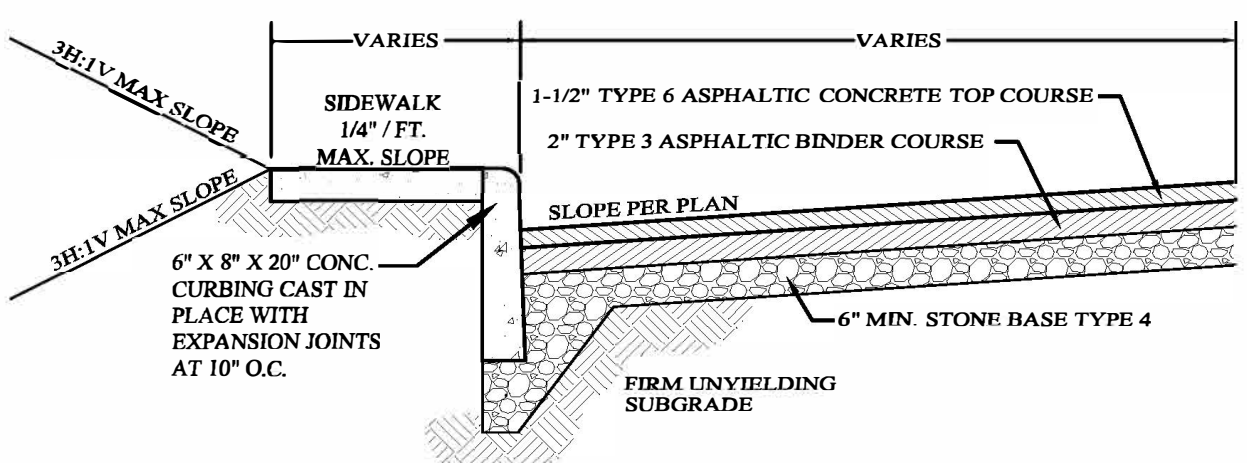
KIRK ROTHER, P.E. N.Y.S. LIC. NO. 079053 DATE

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN, WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER, SHALL BE CONSIDERED INVALID.

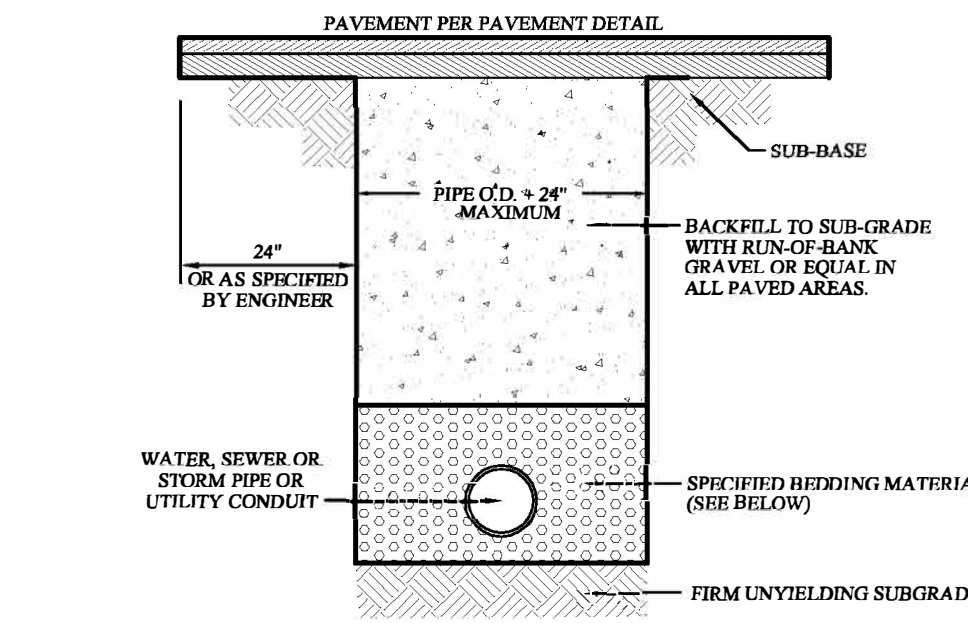
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|----------------|----------------|------------------|---------|
| D.O.T. SHEET # | D.E.C. SHEET # | D.C.H.D. SHEET # | SHEET # |
| N.A. | N.A. | N.A. | 3 OF 4 |
| CAD # | PROJECT # | SCALE | |
| 20129 SP | 20129.0 | AS SHOWN | |



PARKING SPACE STRIPING DETAIL
NOT TO SCALE

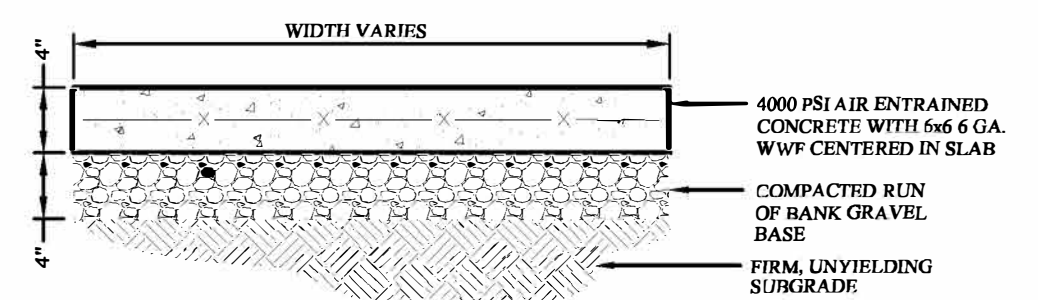


TYPICAL PAVEMENT SECTION
PARKING LOTS & DRIVEWAYS
NOT TO SCALE



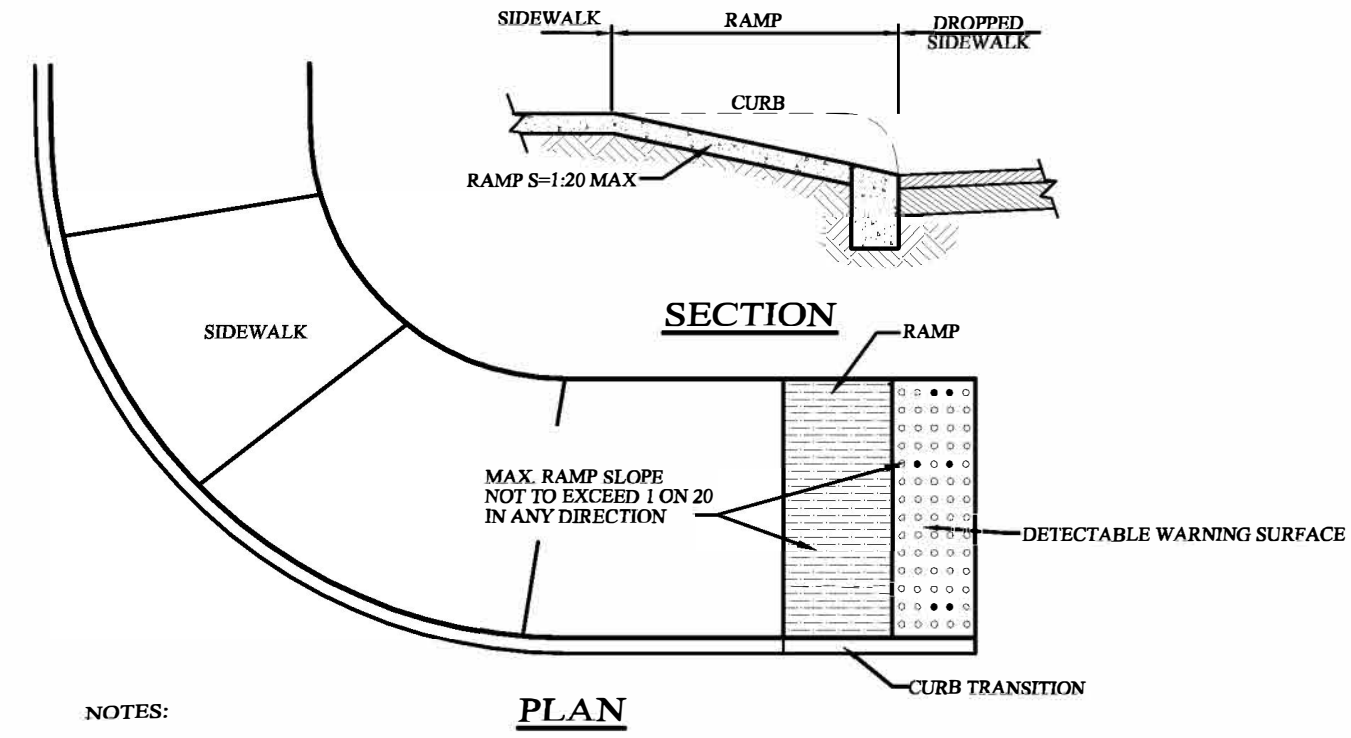
PIPE ZONE BEDDING MATERIAL:
1. WATER MAINS: SAND OR RUN-OF-BANK GRAVEL, AS APPROVED BY SOILS ENGINEER.
PIPE ZONE BACKFILL MATERIAL:
1. WATER MAINS: ON-SITE MATERIAL FREE OF STONE, CLAY FOREIGN MATERIAL OR FROZEN EARTH AS APPROVED BY SOILS ENGINEER.

PIPE BEDDING AND BACKFILL
DETAIL
NOT TO SCALE



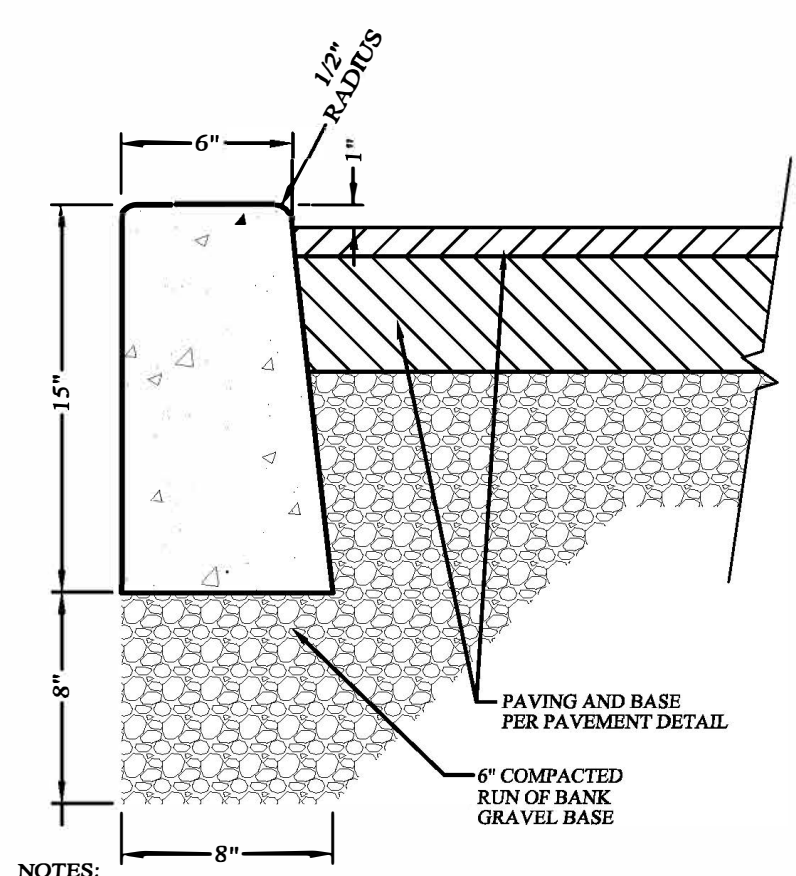
- NOTES:
- SIDEWALKS SHALL BE CAST IN PLACE CONCRETE WITH 1" DEEP JOINTS INSTALLED AT SPACING EQUAL TO THE SIDEWALK WIDTH.
 - CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS SHALL BE INSTALLED 20 FOOT ON CENTER. IF THE SIDEWALK IS POURED AGAINST CONCRETE CURBS, BUILDINGS OR OTHER STRUCTURES, AN EXPANSION JOINT SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF CONTACT. SIDEWALKS SHALL SLOPE AWAY FROM BUILDINGS TO PROVIDE POSITIVE DRAINAGE AND CONFORM TO THE LATEST REVISION OF ALL APPLICABLE REGULATORY STANDARDS INCLUDING THE AMERICANS WITH DISABILITIES ACT.
 - MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4 1/2% FOR A 1" NOMINAL AGGREGATE SIZE. CONCRETE TO TEST 4000 PSI AT 28 DAYS.
 - SIDEWALK SURFACE TO BE A BROOM FINISH WITH GROOVES RUNNING PERPENDICULAR TO THE LENGTH OF SIDEWALK.

CONCRETE SIDEWALK DETAIL
NOT TO SCALE



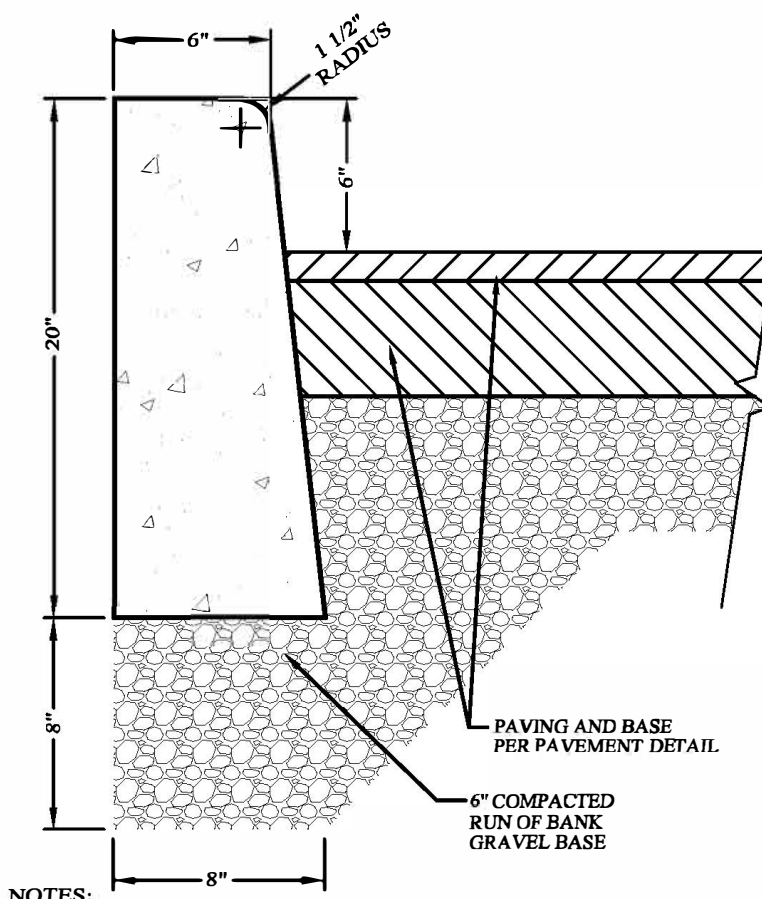
- NOTES:
- CONSTRUCTION OF ALL HANDICAP ACCESSIBLE FEATURES SHALL CONFORM TO THE LATEST REVISION OF ALL APPLICABLE REGULATORY STANDARDS INCLUDING THE AMERICANS WITH DISABILITIES ACT.

HANDICAP ACCESSIBLE RAMP DETAIL
NOT TO SCALE



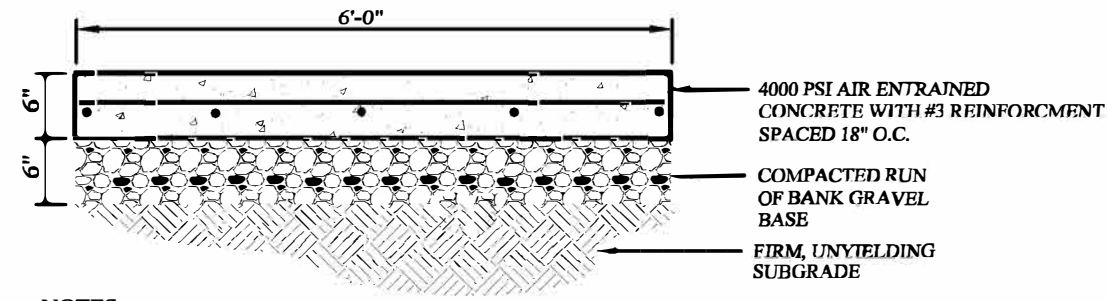
- NOTES:
- CURB SHALL BE CAST IN PLACE CONCRETE WITH CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS INSTALLED AT TEN (10) FOOT INTERVALS.
 - MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4 1/2% FOR A 1" NOMINAL AGGREGATE SIZE. CONCRETE TO TEST 4000 PSI AT 28 DAYS.

CONCRETE DROP CURB DETAIL
NOT TO SCALE



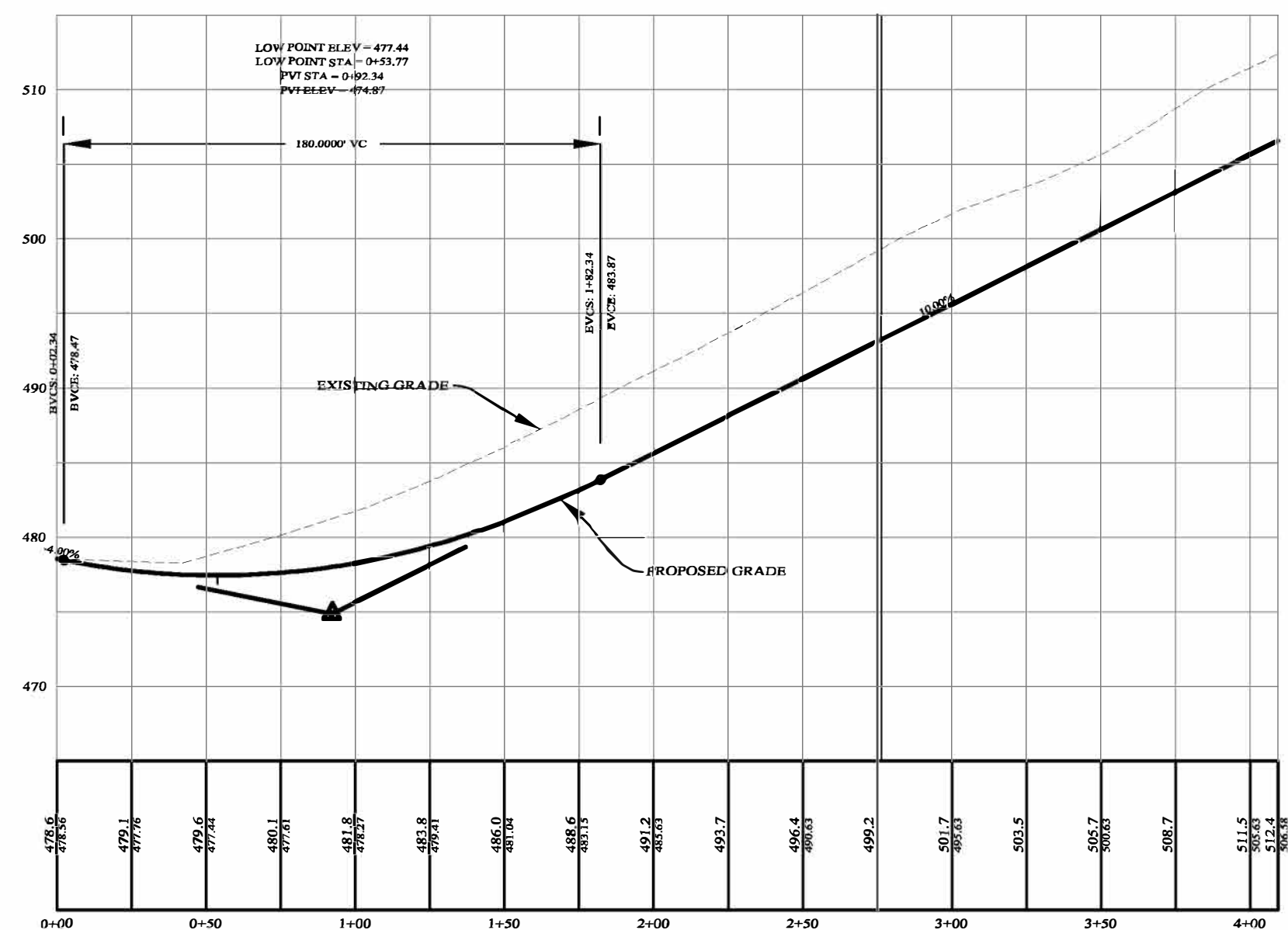
- NOTES:
- CURB SHALL BE CAST IN PLACE CONCRETE WITH CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS INSTALLED AT TEN (10) FOOT INTERVALS.
 - MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4 1/2% FOR A 1" NOMINAL AGGREGATE SIZE. CONCRETE TO TEST 4000 PSI AT 28 DAYS.

CONCRETE CURB DETAIL
(WITHIN SITE)
NOT TO SCALE

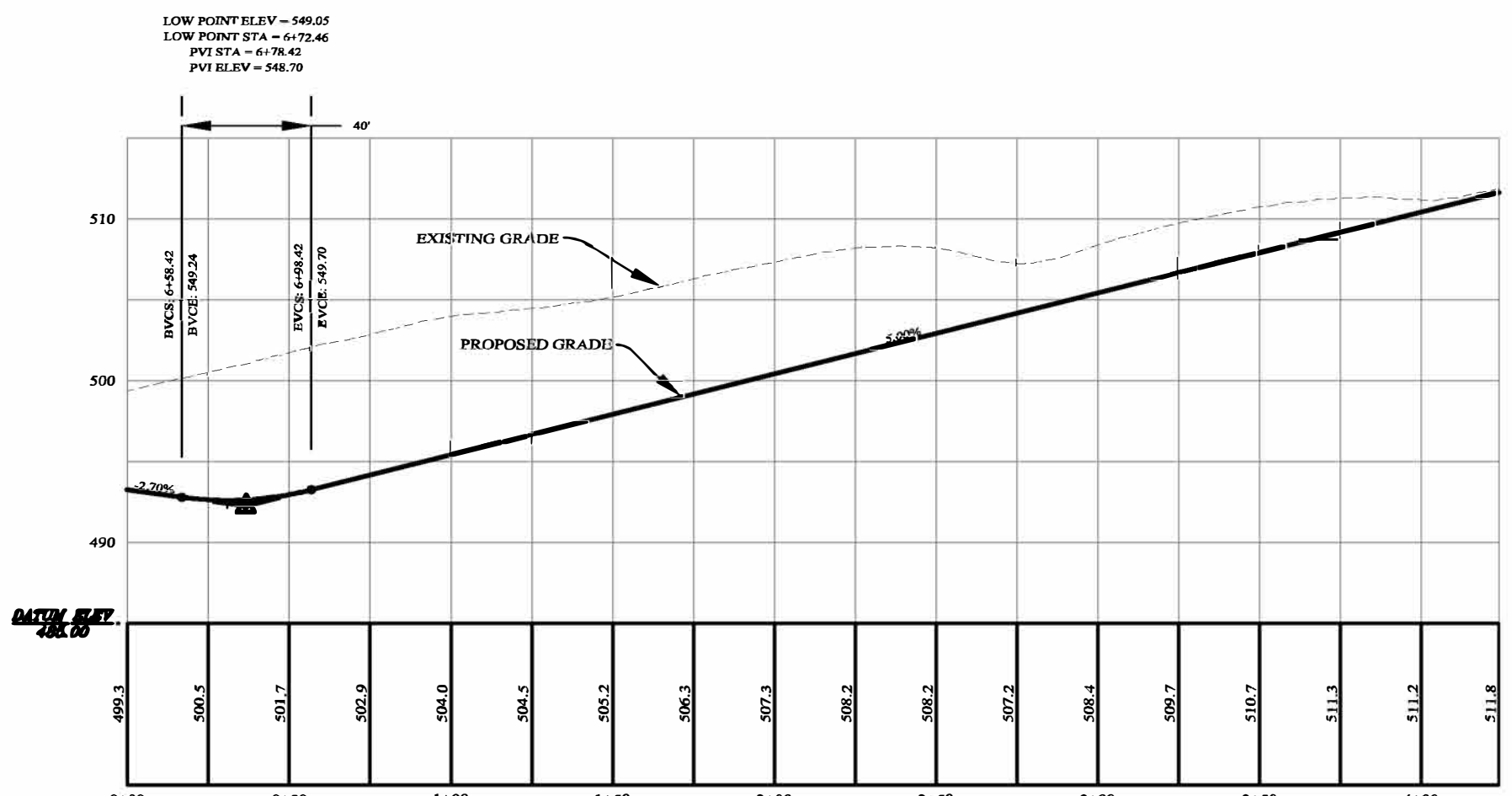


- NOTES:
- SIDEWALKS SHALL BE CAST IN PLACE CONCRETE WITH 1" DEEP JOINTS INSTALLED AT SPACING EQUAL TO THE SIDEWALK WIDTH.
 - CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS SHALL BE INSTALLED 20 FOOT ON CENTER. IF THE SIDEWALK IS POURED AGAINST CONCRETE CURBS, BUILDINGS OR OTHER STRUCTURES, AN EXPANSION JOINT SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF CONTACT. SIDEWALKS SHALL SLOPE AWAY FROM BUILDINGS TO PROVIDE POSITIVE DRAINAGE AND CONFORM TO THE LATEST REVISION OF ALL APPLICABLE REGULATORY STANDARDS INCLUDING THE AMERICANS WITH DISABILITIES ACT.
 - MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4 1/2% FOR A 1" NOMINAL AGGREGATE SIZE. CONCRETE TO TEST 4000 PSI AT 28 DAYS.
 - SIDEWALK SURFACE TO BE A BROOM FINISH WITH GROOVES RUNNING PERPENDICULAR TO THE LENGTH OF SIDEWALK.

CONCRETE SIDEWALK AT
PARKING LOT ENTRANCE DETAIL
NOT TO SCALE



ACCESS ROAD PROFILE
SCALES:
HOR: 1" = 50'
VER: 1" = 10'



ROAD A PROFILE
SCALES:
HOR: 1" = 50'
VER: 1" = 10'

SOUTHGROVE

VILLAGE OF SOUTH BLOOMING GROVE,
ORANGE COUNTY, NEW YORK

ROAD PROFILES & DETAILS

DRAWING TITLE

KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC

5 St. Stephens Lane, Warwick, NY 10990
(845) 988-0620

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| 07-05-22 | INITIAL PREPARATION | KIRK ROTHER, P.E. | N.Y.S. LIC. NO. 079053 | DATE |
| D.O.T. SHEET # | D.E.C. SHEET # | O.C.H.D. SHEET # | SHEET # | |
| N.A. | N.A. | N.A. | | 4 OF 4 |
| CAD # | PROJECT # | SCALE | | |
| 20129 SP | 20129.0 | AS SHOWN | | |