

# SITE PLAN PREPARED FOR 317 LAKE SHORE LLC

## GENERAL NOTES:

- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED.
- GAS, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION WHERE EXISTING UTILITIES ARE CROSSED BY PROPOSED CONSTRUCTION TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THESE PLANS DOES NOT DEPICT ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. NO EXPLORATORY OR TESTING SERVICE, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, HAZARDOUS, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE ENDORSED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE ALL FOR SITE SAFETY, INCLUDING OF ALL APPROPRIATE PERSONNEL PROTECTIVE EQUIPMENT REQUIRED CREW EQUIPMENT, TRAINING AND CERTIFICATIONS AS REQUIRED BY ALL LOCAL, STATE AND FEDERAL AUTHORITIES.
- NEITHER THE PROFESSIONAL ACTIVITIES OF THE PROJECT DESIGN ENGINEER NOR THE PRESENCE OF THEIR REPRESENTATIVES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE OWNER, GENERAL CONTRACTOR OR SUBCONTRACTORS DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO CONSTRUCTION MEANS AND METHODS, SCHEDULES, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES DESIGN ENGINEER AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SECURITY AND SAFETY DESIGN ENGINEER SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AS ADDITIONALLY INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND LOCAL BUILDING DEPARTMENT AND/OR MUNICIPAL ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS. ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
- ALL AREAS DISTURBED BY ONSITE GRADING SHOULD BE LIMED AND FERTILIZED BEFORE SEEDING.
- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED, AS SHOWN TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES OR OTHER SUITABLE MATERIAL. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2 lb OF RYE GRASS OR MULCHED WITH 100 lbs OF STRAW OR HAY PER 1,000 SQUARE-FOOT. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY INSTALLING THE BASE COURSE.
- SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE APPROPRIATE MUNICIPAL AUTHORITIES.
- AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS RE-GRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

## DESCRIPTION:

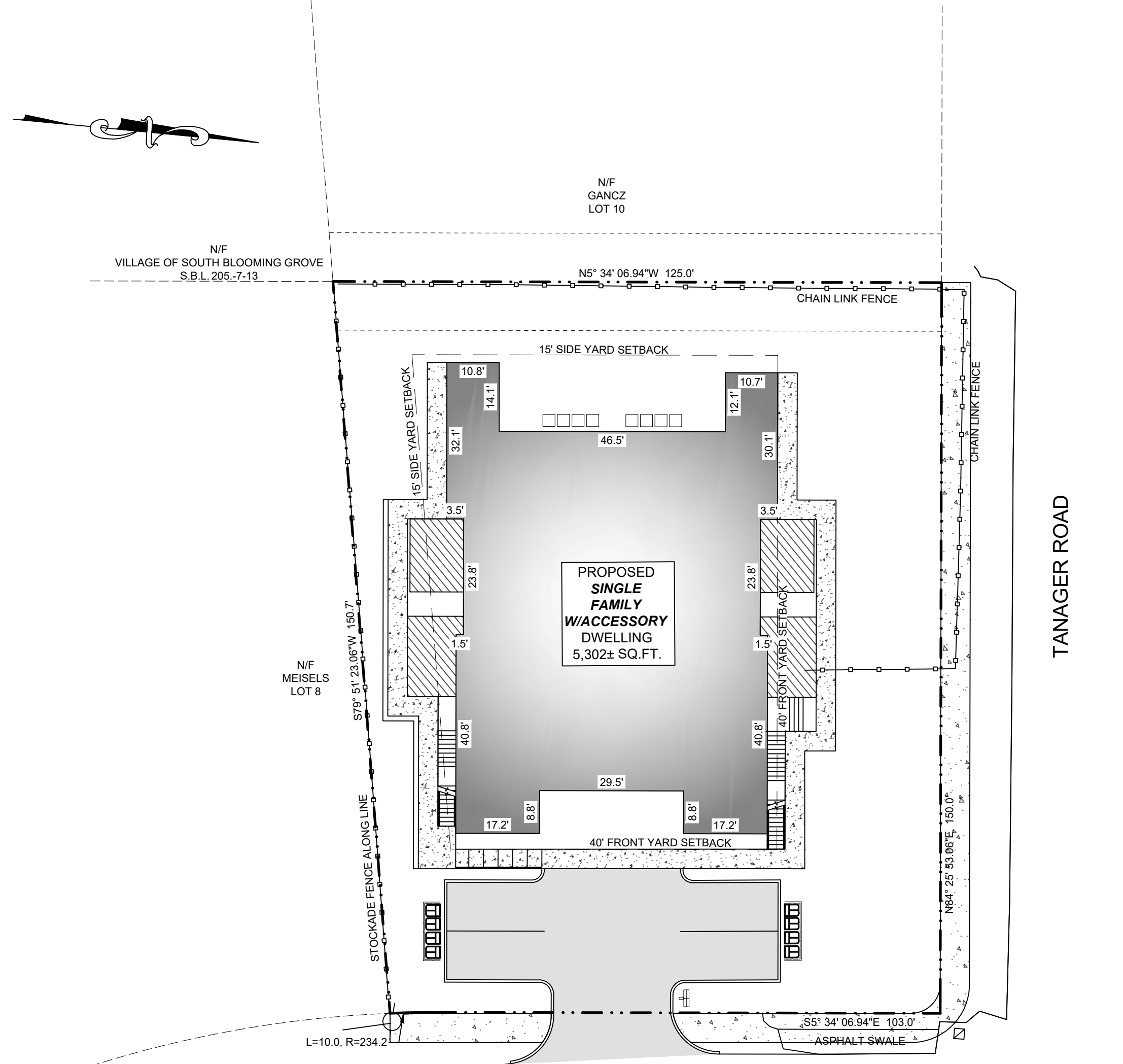
BEING KNOWN AS LOT 4, BLOCK 7 AS SHOWN ON PLAN ENTITLED "PLAN OF SUBDIVISION, SECTION D, MERRIEWOLD, TN. OF BLOOMING GROVE, CO. OF ORANGE" FILED ON APRIL 30, 1962 IN THE ORANGE COUNTY CLERK'S OFFICE AS MAP NO. 1949. ALSO BEING KNOWN AS SECTION 205, BLOCK 7, LOT 4 AS SHOWN ON THE OFFICIAL TAX MAPS FOR THE VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK.

## OUTBOUND AND TOPOGRAPHIC REFERENCE:

SURVEY PREPARED FOR 317 LAKE SHORE DRIVE VILLAGE OF SOUTH BLOOMING GROVE TOWN OF BLOOMING GROVE, COUNTY OF ORANGE, STATE OF NEW YORK TAX LOT: SECTION 205 - BLOCK 7 - LOT 4 SURVEY DATE: JULY 25, 2024

## LEGEND:

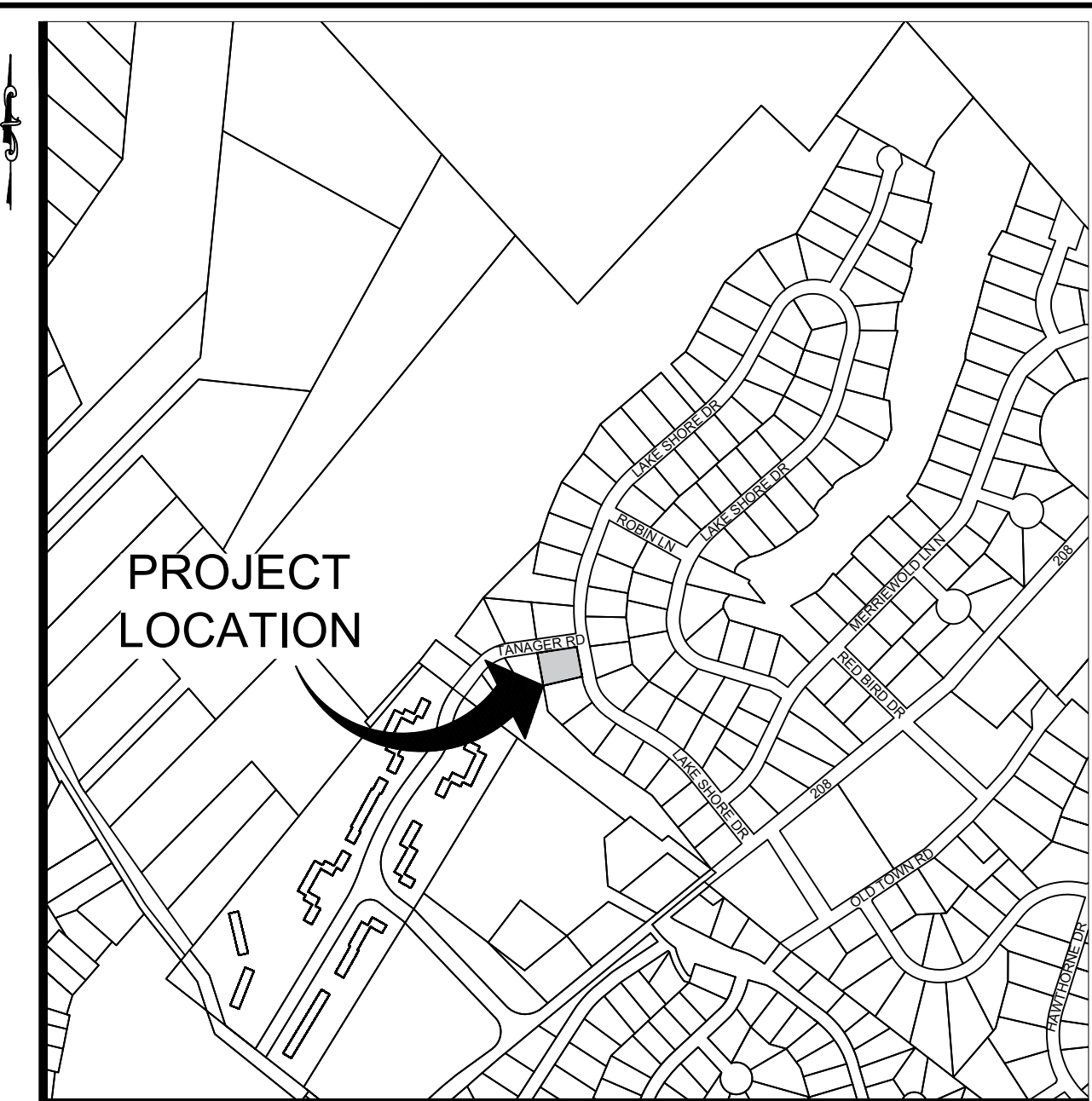
|     |                                 |
|-----|---------------------------------|
| --- | EX. PROPERTY LINE               |
| ○   | EX. UTILITY POLE                |
| --- | EX. WIRE OVERHEAD               |
| --- | EX. CHAIN LINK FENCE            |
| ●   | EX. WELL                        |
| --- | EX. CONTOUR, MAJOR              |
| --- | EX. CONTOUR, MINOR              |
| --- | FINISH FLOOR ELEVATION          |
| --- | PR. CURB                        |
| --- | PR. SIDEWALK                    |
| --- | PR. DRIVEWAY                    |
| --- | PR. BUILDING                    |
| --- | PR. DECK                        |
| --- | PR. BLDG ENTRANCE               |
| --- | PR. STAIRS                      |
| --- | PR. RAILING                     |
| --- | PR. CONTOUR                     |
| --- | PR. SPOT ELEVATION              |
| --- | PR. CBQP-CATCH BASIN CURB PEACE |
| --- | PR. DRY WELL                    |
| --- | PR. CLEAN OUT                   |
| --- | PR. CURB VALVE                  |
| --- | PR. SETBACKS                    |
| --- | PR. CLEAR YARD                  |



LAKE SHORE DRIVE  
F/K/A HILLSIDE ROAD

## COVER SHEET

SCALE - 1" = 20'



**VICINITY MAP**  
SCALE - 1" = 250'

| PROJECT SHEET INDEX |             |                          |
|---------------------|-------------|--------------------------|
| SHEET NUMBER        | SHEET TITLE | SHEET DESCRIPTION        |
| 01                  | C01         | COVER SHEET              |
| 02                  | C02         | SITE PLAN                |
| 03                  | C03         | GRADING AND UTILITY PLAN |
| 04                  | C04         | LANDSCAPE PLAN           |
| 05                  | C05         | EROSION CONTROL PLAN     |
| 06                  | C06         | DETAILS                  |
| 07                  | C07         | EXISTING PLAN            |

| BULK TABLE              |             |                |                  |
|-------------------------|-------------|----------------|------------------|
| ZONING: RESIDENCE B     | MINIMUM:    | REQUIRED:      | LOT #1 PROVIDED: |
| LOT AREA                | 10,000 S.F. | 17,850.3± S.F. | OK               |
| FRONTAGE                | 50 FEET     | 103± FEET      | OK               |
| FRONT YARD              | 40 FEET     | 40±            | OK               |
| SIDE YARD (ONE)         | 15'         | 15±            | OK               |
| SIDE YARD (BOTH)        | 30'         | 30±            | OK               |
| REAR YARD               | 40'         | -              | OK               |
| <b>MAXIMUM:</b>         |             |                |                  |
| BUILDING HEIGHT/STORIES | 2 STORIES   | 2 STORIES      | OK               |
| BUILDING COVERAGE       | 50%         | 30%±           | OK               |
| <b>PARKING:</b>         |             |                |                  |
| PROPOSED PARKING        | 2 PER UNIT  | 4              | OK               |

## SITE SPECIFIC NOTES:

- THIS IS A PLOT PLAN PREPARED FOR TAX LOT #205-7-4 SHOWN ON THE VILLAGE OF BLOOMING GROVE TAX MAPS.
- RECORD OWNER:  
317 LAKE SHORE LLC  
305 LAKE SHORE DR  
MONROE, NEW YORK, 10950
- APPLICANT:  
317 LAKE SHORE LLC  
305 LAKE SHORE DR  
MONROE, NEW YORK, 10950
- SITE ADDRESS:  
317 LAKE SHORE DR  
MONROE, NEW YORK, 10950
- DEED REFERENCE: DEED BOOK 15648, PAGE 1111
- FILED MAP: LT 9, BLK B, SEC D MERRIEWO FNA (MAP 46-7-4)
- AREA OF PARCEL: 0.41± ACRES.
- ZONING DISTRICT: RB
- SANITARY SEWAGE: MUNICIPAL SANITARY SEWER SYSTEM.
- PROPOSED WATER SUPPLY: MUNICIPAL WATER SUPPLY.
- EXISTING USE: SINGLE FAMILY
- PROPOSED USE: SINGLE FAMILY WITH ACCESSORY UNIT
- THE BUILDING LOCATED WITHIN A DESIGNATED FLOOD ZONE SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL IN FULL COMPLIANCE WITH FEMA AND LOCAL FLOOD ZONE REGULATIONS.
- THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 259k OF THE GENERAL MUNICIPAL LAW.
- CONTRACTOR TO KEEP ROAD AND SURROUNDING AREAS CLEAR OF CLEAR OF TRASH AND DEBRIS.
- CONTRACTOR TO MINIMIZE DIRT AND MUD IN ROADWAY BY CLEANING ROADWAY AS REQUIRED.
- PROPOSED DUMPSTER LOCATION TO BE REVIEWED WITH THE VILLAGE BUILDING DEPARTMENT.
- PROPOSED DUMPSTER LOCATION TO BE REVIEWED WITH THE VILLAGE.

| # | DATE | ISSUED |
|---|------|--------|
|   |      |        |

| # | DATE | REVISION |
|---|------|----------|
|   |      |          |

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THIS PLAN FOR BUILDING PERMIT PURPOSES ONLY.  
SEAL VALID FOR:  
C&J JOB# 25-100  
SEAL DATE:  
NOVEMBER 24, 2023



MICHAEL J. CALISE, P.E.  
NEW YORK STATE LIC. NO. 074611

## C&J Consulting Engineers, D.P.C.

Michael J. Calise, P.E., Principal

Office Location:  
35 Goshen TPK, Bloomingburg, NY 12721  
845-458-1565  
cjconsultingengineers35@gmail.com

|                   |   |
|-------------------|---|
| CLIENT-APPLICANT: | 317 LAKE SHORE LLC<br>305 LAKE SHORE DR<br>MONROE, NY 10950 |
|-------------------|---|

|        |   |
|--------|---|
| OWNER: | 317 LAKE SHORE LLC<br>305 LAKE SHORE DR<br>MONROE, NY 10950 |
|--------|---|

|              |                    |
|--------------|--------------------|
| SHEET TITLE: | <b>COVER SHEET</b> |
|--------------|--------------------|

|                |                          |
|----------------|--------------------------|
| PROJECT TITLE: | <b>317 LAKE SHORE DR</b> |
|----------------|--------------------------|

|           |                           |
|-----------|---------------------------|
| LANDS OF: | <b>317 LAKE SHORE LLC</b> |
|-----------|---------------------------|

|           |  |
|-----------|--|
| LOCATION: | <b>317 LAKE SHORE DR,<br/>MONROE, NY 10950</b> |
|-----------|--|

|               |  |
|---------------|--|
| JURISDICTION: | <b>VILLAGE OF SOUTH BLOOMING GROVE<br/>TOWN OF BLOOMING GROVE<br/>COUNTY OF ORANGE<br/>STATE OF NEW YORK</b> |
|---------------|--|

|          |                                  |
|----------|----------------------------------|
| TAX LOT: | <b>SECTION 205 BLOCK 7 LOT 4</b> |
|----------|----------------------------------|

|           |                                   |
|-----------|-----------------------------------|
| LOT AREA: | <b>0.41± ACRES 17,850.3 SQ.FT</b> |
|-----------|-----------------------------------|

|              |                |              |            |
|--------------|----------------|--------------|------------|
| DRAWN BY:    | SCALE: 1"=20'  | PROJECT NO.: | 25-100     |
| CHECKED BY:  | ORIGINAL DATE: | CHECKED BY:  | 11/24/2025 |
| APPROVED BY: | LAST REVISED:  | APPROVED BY: | 11/24/2025 |



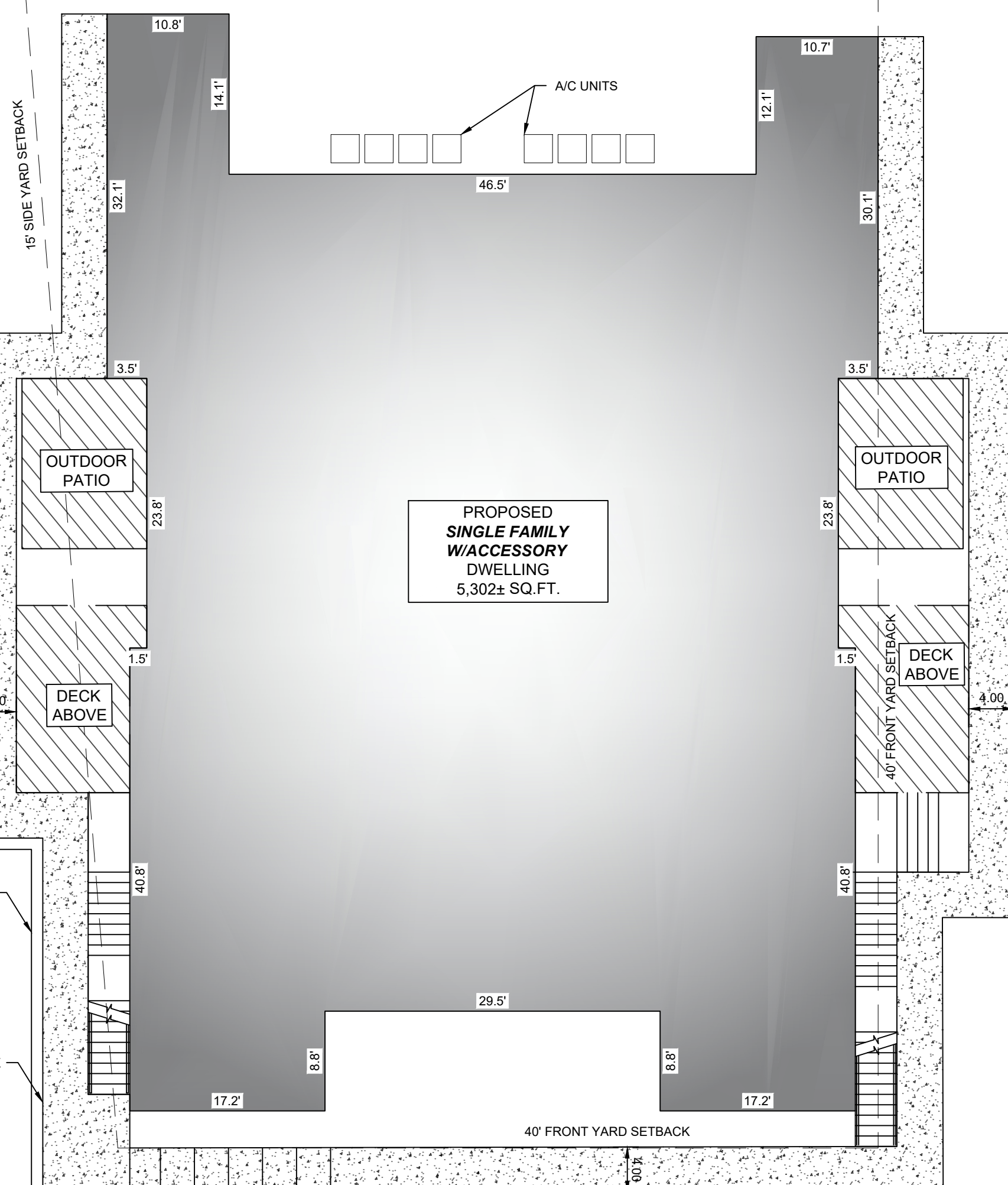
Know what's below.  
Call before you dig.

N/F  
VILLAGE OF SOUTH BLOOMING GROVE  
S.B.L. 205-7-13

N/F  
GANCZ  
LOT 10

N5° 34' 06.94"W 125.0'

15' SIDE YARD SETBACK



N/F  
MEISELS  
LOT 8

RETAINING WALL 82 LF

PROP. 4' SIDEWALK

PROP. 6' CURB

PROP. GARBAGE AREA

PROP. 6' CURB

PROP. GARBAGE AREA

TANAGER ROAD

LAKE SHORE DRIVE  
F/K/A HILLSIDE ROAD

L=10.0, R=234.2

N84° 29' 53.09"E 150.0'

S5° 34' 06.94"E 103.0'

LEGEND:

- EX. PROPERTY LINE
- EX. UTILITY POLE
- EX. WIRE OVERHEAD
- EX. CHAIN LINK FENCE
- EX. WELL
- EX. CONTOUR, MAJOR
- EX. CONTOUR, MINOR
- FFE FINISH FLOOR ELEVATION
- PR. CURB
- PR. SIDEWALK
- PR. DRIVEWAY
- PR. BUILDING
- PR. DECK
- PR. BLDG ENTRANCE
- PR. STAIRS
- PR. RAILING
- PR. CONTOUR
- X=000.00± PR. SPOT ELEVATION
- PR. CBOP-CATCH BASIN CURB PEACE
- PR. DRY WELL
- PR. CLEAN OUT
- PR. CURB VALVE
- PR. SETBACKS
- PR. CLEAR YARD



**SITE PLAN**  
SCALE - 1" = 10'

# DATE ISSUED

# DATE REVISION

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SEAL VALID FOR:  
C&J JOB# 25-100  
SEAL DATE:  
NOVEMBER 24, 2025



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NEW YORK STATE LIC. NO. 074611

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CLIENT-APPLICANT:  
317 LAKE SHORE LLC  
305 LAKE SHORE DR  
MONROE, NY 10950

OWNER:  
317 LAKE SHORE LLC  
305 LAKE SHORE DR  
MONROE, NY 10950

SHEET TITLE:  
**SITE PLAN**

PROJECT TITLE:  
**317 LAKE SHORE DR**

LANDS OF:  
**317 LAKE SHORE LLC**

LOCATION:  
**317 LAKE SHORE DR,  
MONROE, NY 10950**

JURISDICTION:  
**VILLAGE OF SOUTH BLOOMING GROVE  
TOWN OF BLOOMING GROVE  
COUNTY OF ORANGE  
STATE OF NEW YORK**

TAX LOT:  
**SECTION 205 BLOCK 7 LOT 4**

LOT AREA:  
**0.41± ACRES 17,850.3 SQ. FT.**

DRAWN BY: SCALE: PROJECT NO.:  
FM 1"=10' 25-100

CHECKED BY: ORIGINAL DATE SHEET:  
JJ 11/24/2025

APPROVED BY: LAST REVISED: SHEET:  
MJC C02 PAGE 02 OF 07



N/F  
VILLAGE OF SOUTH BLOOMING GROVE  
S.B.L. 205-7-13

N/F  
GANCZ  
LOT 10

N/F  
MEISELS  
LOT 8

TANAGER ROAD

FINISHED FLOOR ELEV. 479.0±  
LOWEST SEWER ELEV. 477.0±  
SLAB ELEV. 475.0±

LAKE SHORE DRIVE  
F/K/A HILLSIDE ROAD

**GRADING NOTES:**

- CONTRACTOR SHALL VERIFY LOCATION AND OPERATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES, FEATURES, CONDITIONS, ETC., AND SHALL NOTIFY THE ENGINEER AND APPLICANT, IN WRITING, OF ANY DISCREPANCIES.
- TREE CLEARING TO BE LIMITED TO THAT NECESSARY FOR PROP. CONSTRUCTION AND REQUIRED GRADING.
- PROVIDE EROSION CONTROL AS SHOWN ON "EROSION CONTROL PLAN".
- DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN THIRTY DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2LB. RYE GRASS OR MULCHED WITH 100LBS. OF STRAW OR HAY PER 1,000 SQ. FT. TEMPORARY DIVERSION DITCHES WILL BE ESTABLISHED WHERE NECESSARY.
- STABILIZE ALL DISTURBED AREAS WITH PERMANENT COVER FOLLOWING CONSTRUCTION. APPLY THE NECESSARY LIME, FERTILIZER, SEED AND MULCH.
- TEMPORARY SEDIMENTATION ENTRAPMENT AREA SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED USING EARTHEN BERMS RIP-RAP OR CRUSHED STONE DAMS, HAY BALES OR SUITABLE MATERIALS. DIVERSION SWALES, BERMS OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE APPROPRIATE MUNICIPAL AUTHORITIES.
- AT THE COMPLETION OF THE PROJECT ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED PLANS.
- ALL CONSTRUCTION SHALL MEET CURRENT SPECIFICATIONS OF THE MUNICIPALITY WHICH APPROVED THE PLANS, AND/OR THAT TOWN OR VILLAGE HAVING JURISDICTION OVER THIS LOT.
- THE SEED MIXTURE FOR PERMANENT SEEDING SHALL BE:  
KENTUCKY BLUEGRASS ... 100lbs / ACRE ... (2.0 lb./ 1000 SQ. FT.)  
CREEPING RED FESCUE ... 300lbs / ACRE ... (0.5 lb./ 1000 SQ. FT.)  
PERENNIAL RYE GRASS ... 23lbs / ACRE ... (0.7 lb./ 1000 SQ. FT.)
- THE FOLLOWING APPLICATION RATES ARE TO BE USED FOR PERMANENT SEEDING: LIME IS TO BE APPLIED TO A pH OF AT LEAST 6.0 TO 7.0 OR AT A RATE OF 4 TONS/ACRE (STANDARD GRADE LIMESTONE). FERTILIZER TO BE APPLIED AT A RATE OF 800 lbs. TO 900 lbs./ACRE OR EQUIVALENT 5-10-10 (NITROGEN-PHOSPHOROUS-POTASSIUM)
- SOD MAY BE USED INSTEAD OF SEED.

**EARTHWORK SUMMARY\***

| TOTAL QUANTITIES & AREAS  | CUT (CY)                    | FILL (CY) |
|---------------------------|-----------------------------|-----------|
| TOTAL QUANTITY            | 3± CY                       | 1,070± CY |
| TOTAL QUANTITY DIFFERENCE | 1,067± CY NET FILL (IMPORT) |           |
| TOTAL DISTURBED AREA      | 12,682 SF (0.29 AC)         |           |

**ABBREVIATION:**

- LSE LOWER SEWER ELEVATION
- BSE BASEMENT SLAB ELEVATION
- FEE FINISHED FLOOR ELEVATION
- V.I.F. VERIFY IN FIELD

# DATE ISSUED

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MONROE, NY 10950

OWNER:

317 LAKE SHORE LLC  
305 LAKE SHORE DR  
MONROE, NY 10950

SHEET TITLE:

**GRADING AND UTILITY PLAN**

PROJECT TITLE:

**317 LAKE SHORE DR**

LANDS OF:

**317 LAKE SHORE LLC**

LOCATION:

**317 LAKE SHORE DR,  
MONROE, NY 10950**

JURISDICTION:

**VILLAGE OF SOUTH BLOOMING GROVE  
TOWN OF BLOOMING GROVE  
COUNTY OF ORANGE  
STATE OF NEW YORK**

TAX LOT:

**SECTION 205 BLOCK 7 LOT 4**

LOT AREA:

**0.41± ACRES 17,850.3 SQ. FT.**

DRAWN BY:

SCALE: PROJECT NO.:  
25-100

CHECKED BY:

1"=10'

APPROVED BY:

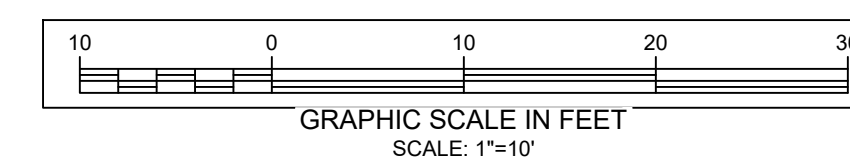
ORIGINAL DATE SHEET:  
11/24/2025

MJC

LAST REVISED:  
**C03**  
PAGE 63 OF 07

**GRADING AND UTILITY PLAN**

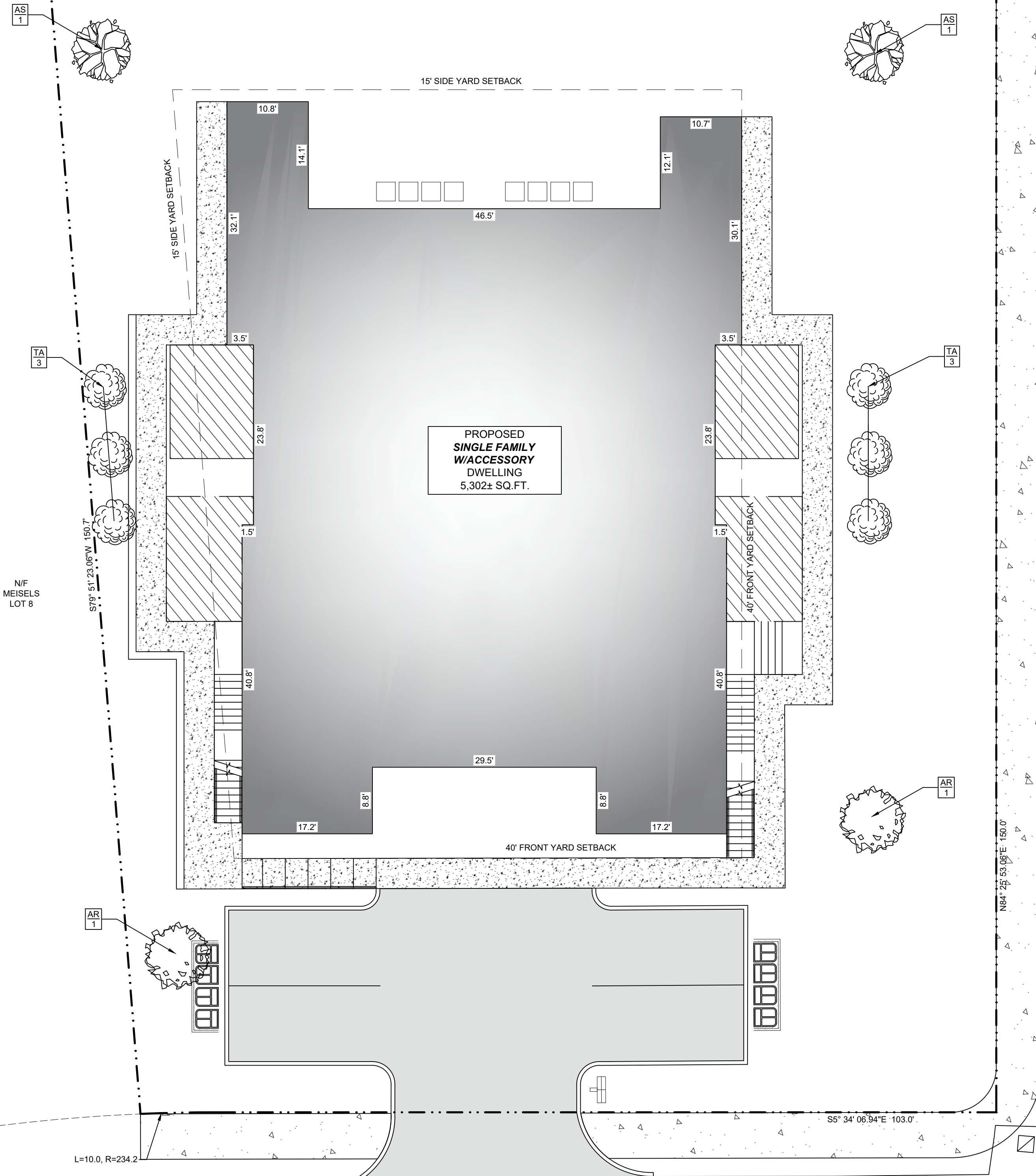
SCALE - 1" = 10'



N/F  
VILLAGE OF SOUTH BLOOMING GROVE  
S.B.L. 205-7-13

N/F  
GANCZ  
LOT 10

N5° 34' 06.94"W 125.0'



PROPOSED  
SINGLE FAMILY  
W/ACCESSORY  
DWELLING  
5,302± SQ. FT.

LAKE SHORE DRIVE  
F/K/A HILLSIDE ROAD

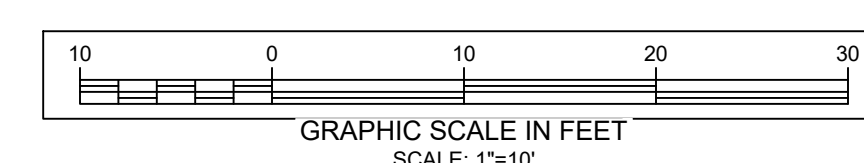
TANAGER ROAD

**PLANT SCHEDULE**

| FINAL QUANTITY   | SYMBOL | BOTANICAL NAME                                | COMMON NAME         | HEIGHT    | SPACING | SPREAD  |
|------------------|--------|---|---------------------|-----------|---------|---------|
| SHRUBS AND TREES |        |   |                     |           |         |         |
| 2                | AR     | ACER RUBRUM                                   | RED MAPLE           | 40'-60'   | 25'-35' | 30'-50' |
| 2                | AS     | ACER SACCHARUM                                | SUGAR MAPLE         | 50'-75'   | 30'-40' | 40'-60' |
| 6                | TA     | ACETHUJA OCCIDENTALIS<br>SKYBOUND'R SACCHARUM | SKYBOUND ARBORVITAE | 12'-15'   | 3'-4'   | 3'-4'   |
| GRASS            |        |   |                     |           |         |         |
|                  |        | POA PRATENSIS                                 | KENTUCKY BLUEGRASS  | 1.5'-2.5' |         |         |

**LEGEND:**

- EX. PROPERTY LINE
- EX. UTILITY POLE
- EX. WIRE OVERHEAD
- EX. CHAIN LINK FENCE
- EX. WELL
- EX. CONTOUR, MAJOR
- EX. CONTOUR, MINOR
- FINISH FLOOR ELEVATION
- PR. CURB
- PR. SIDEWALK
- PR. DRIVEWAY
- PR. BUILDING
- PR. DECK
- PR. BLDG ENTRANCE
- PR. STAIRS
- PR. RAILING
- PR. CONTOUR
- X=000.00'± PR. SPOT ELEVATION
- PR. DRY WELL
- PR. CLEAN OUT
- PR. CURB VALVE
- PR. SETBACKS
- PR. CLEAR YARD



**LANDSCAPE PLAN**

SCALE - 1" = 10'

# DATE ISSUED

# DATE REVISION

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SEAL VALID FOR:  
C&J JOB# 25-100  
SEAL DATE:  
NOVEMBER 24, 2023



MICHAEL J. CALISE, P.E.  
NEW YORK STATE LIC. NO. 074611

**C&J Consulting Engineers, D.P.C.**

Michael J. Calise, P.E., Principal

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cjconsultingengineers35@gmail.com

CLIENT-APPLICANT:  
317 LAKE SHORE LLC  
305 LAKE SHORE DR  
MONROE, NY 10950

OWNER:  
317 LAKE SHORE LLC  
305 LAKE SHORE DR  
MONROE, NY 10950

SHEET TITLE:  
**LANDSCAPE PLAN**

PROJECT TITLE:  
**317 LAKE SHORE DR**

LANDS OF:  
**317 LAKE SHORE LLC**

LOCATION:  
**317 LAKE SHORE DR,  
MONROE, NY 10950**

JURISDICTION:  
**VILLAGE OF SOUTH BLOOMING GROVE  
TOWN OF BLOOMING GROVE  
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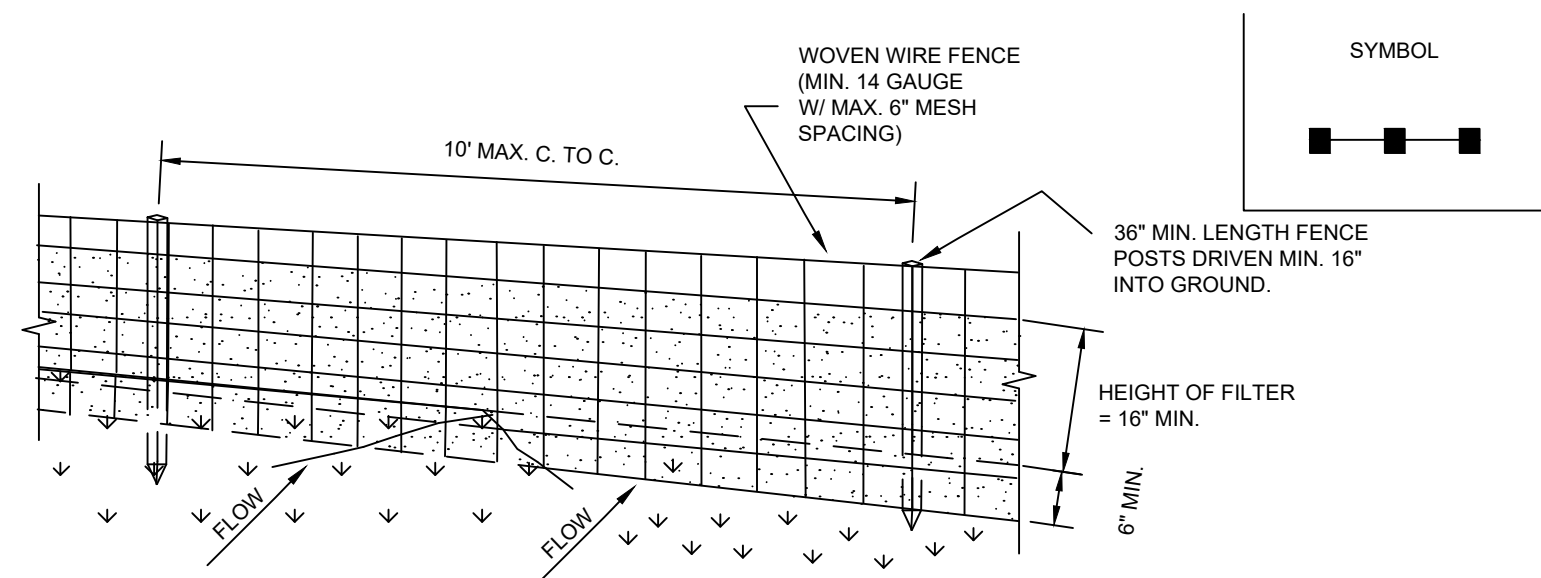
DRAWN BY: SCALE: PROJECT NO.:  
FM 25-100 11-17

CHECKED BY: ORIGINAL DATE SHEET:  
JJ 11/24/2025

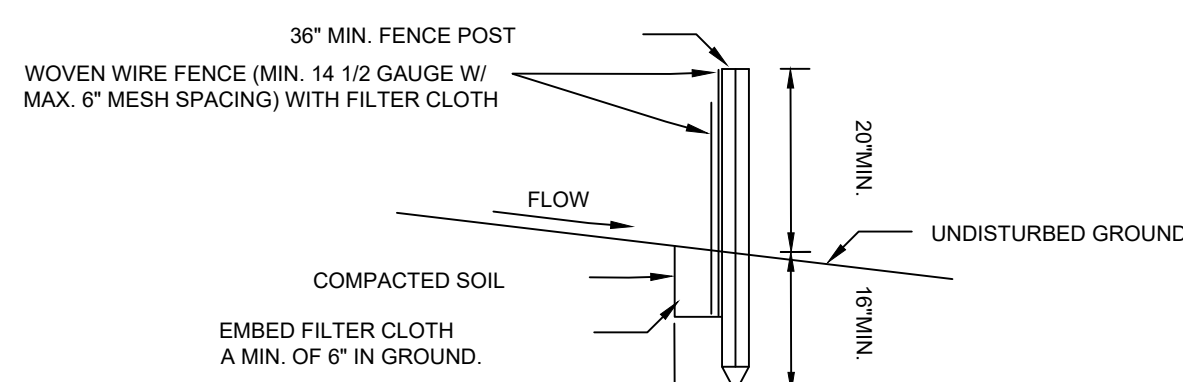
APPROVED BY: LAST REVISED: SHEET:  
MJC C04  
PAGE 04 OF 07



Know what's below.  
Call before you dig.



**PERSPECTIVE VIEW**



**SECTION VIEW**

**CONSTRUCTION SPECIFICATIONS**

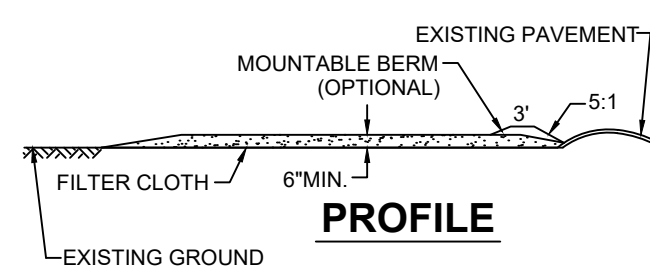
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE DETAIL**

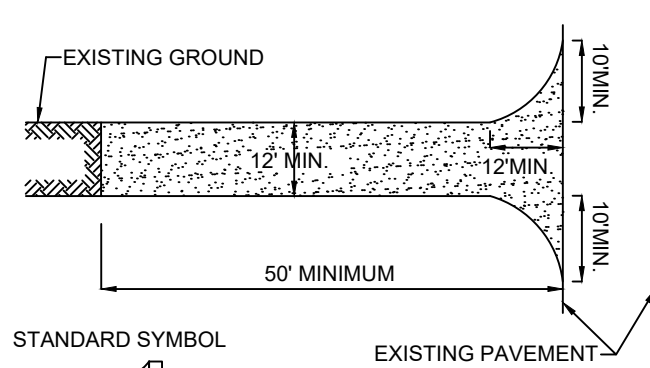
NST

**SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL**

- CONSTRUCT AND MAINTAIN CONSTRUCTION ENTRANCE.
- INSTALL ALL EROSION CONTROL DEVICES AS SHOWN ON THIS PLAN AND NOTED IN THE "LEGEND FOR EROSION CONTROL DURING CONSTRUCTION". ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
- CLEAR EXISTING TREES AND VEGETATION FROM AREAS TO BE EXCAVATED OR FILLED. STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED.
- PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE. INSTALL STORM DRAINAGE AS SHOWN ON THE PLAN.
- SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNFINISHED FOR A PERIOD OF 15 DAYS, OR MORE, AS PER NOTE 4 OF "GRADING NOTES".
- AFTER COMPLETION OF THE SITE CONSTRUCTION, FILL, GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED AS PER NOTES 10, 11 AND 12 OF "GRADING NOTES".
- AFTER LOT STABILIZATION HAS TAKEN PLACE: PAVE (BASE COURSE) DRIVEWAYS. CLEAR DRAINAGE PIPES AND STRUCTURES OF ANY SEDIMENT WHICH MAY HAVE ACCUMULATED. REMOVE ALL EROSION CONTROL DEVICES.
- MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
- SILT THAT HAS BEEN ACCUMULATED IN SILT RETENTION BASINS TO BE REMOVED WHEN BASIN IS FILLED IN TO 50% OF PROVIDED DEPTH.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM.



**PROFILE**



**PLAN VIEW**

**CONSTRUCTION SPECIFICATIONS**

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
- THICKNESS - NOT LESS THAN (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTING BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**LEGEND:**

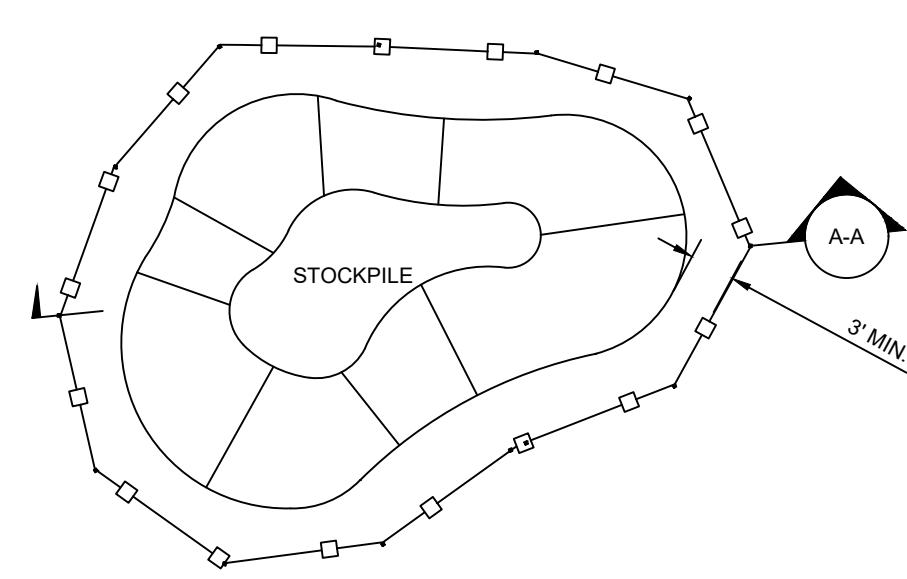
- EX. PROPERTY LINE
- EX. UTILITY POLE
- EX. WIRE OVERHEAD
- EX. CHAIN LINK FENCE
- EX. WELL
- EX. CONTOUR, MAJOR
- EX. CONTOUR, MINOR
- FINISH FLOOR ELEVATION
- PR. CURB
- PR. SIDEWALK
- PR. DRIVEWAY
- PR. BUILDING
- PR. DECK
- PR. BLDG ENTRANCE
- PR. STAIRS
- PR. RAILING
- PR. CONTOUR
- PR. SPOT ELEVATION
- PR. CBCP-CATCH BASIN CURB PEACE
- PR. DRY WELL
- PR. CLEAN OUT
- PR. CURB VALVE
- PR. SETBACKS
- PR. CLEAR YARD

**LEGEND:**

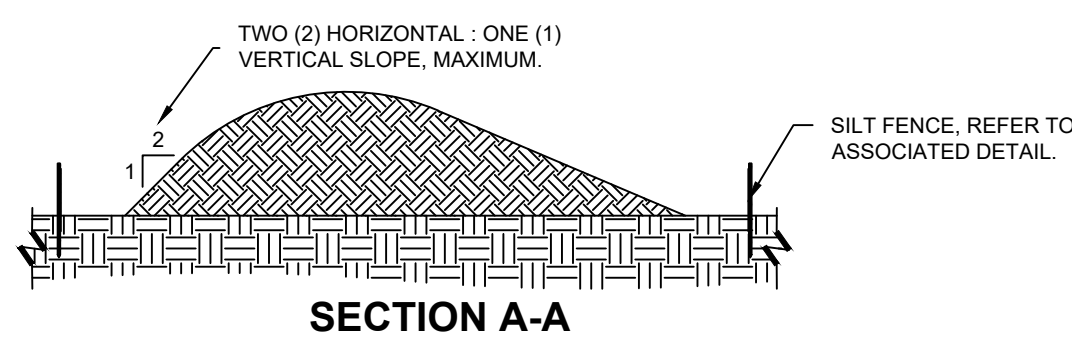
- EROSION CONTROL MEASURES
- LOD-LIMITS OF DISTURBANCE
- SILT FENCE
- DROP INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE

**STABILIZED CONSTRUCTION ENTRANCE**

NST



**PLAN VIEW**



**SECTION A-A**

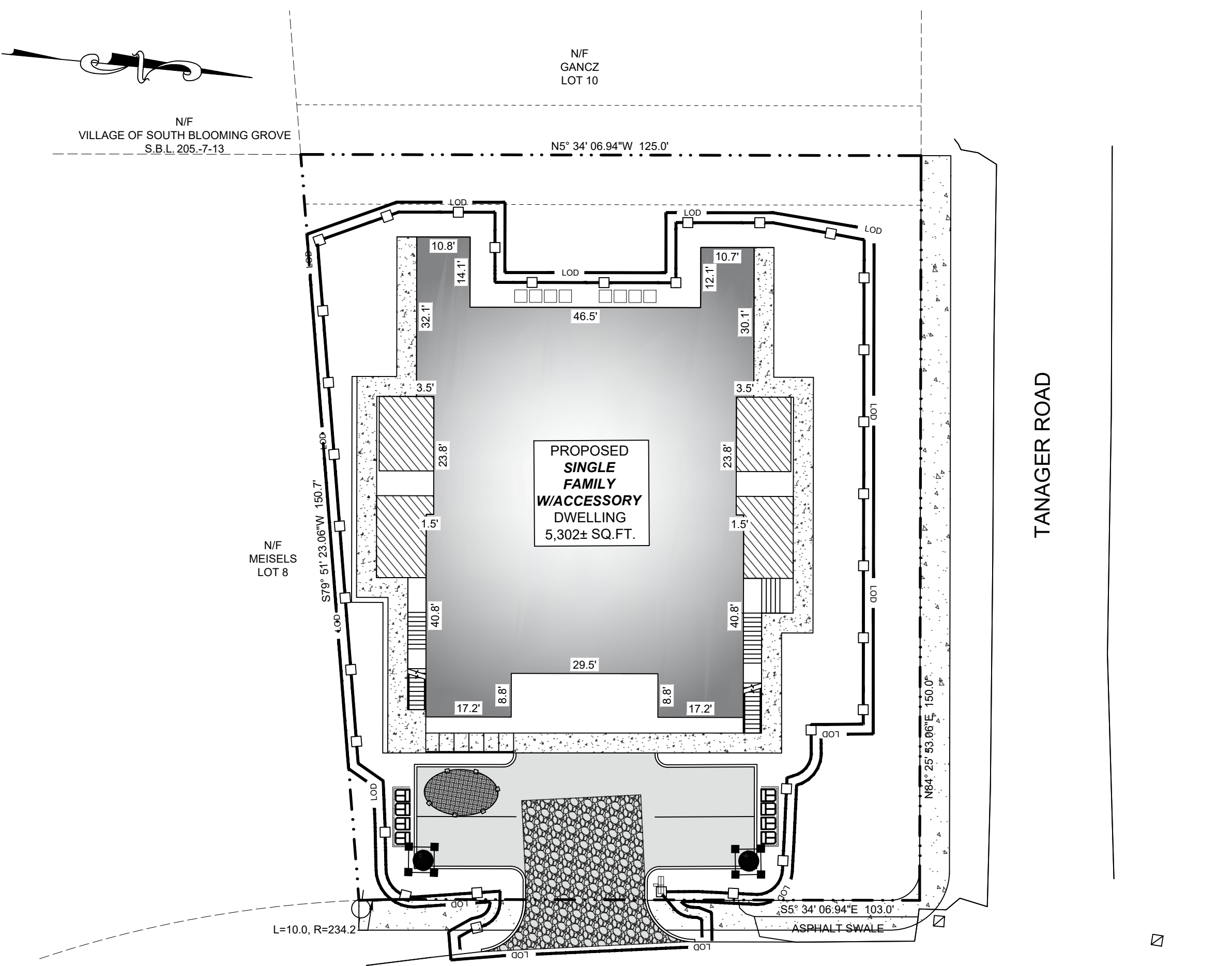
**DETAIL NOTES**

- SOIL STOCKPILES MUST BE PROTECTED BY THE USE OF ESTABLISHED VEGETATION, ANCHORED STRAW MULCH, ROLLED STABILIZATION MATTING, OR OTHER DURABLE COVERING.

**SOIL STOCKPILE DETAIL**

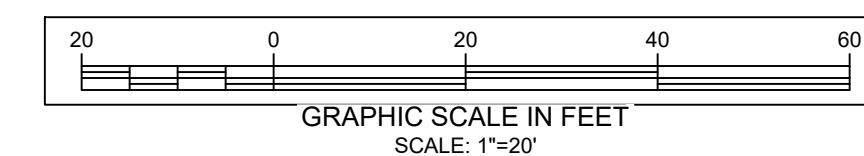
N.T.S.

|                      |                  |
|----------------------|------------------|
| TOTAL DISTURBED AREA | 14,640 (0.34 AC) |
|----------------------|------------------|



**EROSION CONTROL PLAN**

SCALE - 1" = 20'



# DATE ISSUED

# DATE REVISION

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SEAL VALID FOR:

C&J JOB# 25-100

SEAL DATE:

NOVEMBER 24, 2025



Michael J. Calise, P.E.  
NEW YORK STATE LIC. NO. 074611

**C&J Consulting Engineers, D.P.C.**

Michael J. Calise, P.E., Principal

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cjconsultingengineers35@gmail.com

CLIENT-APPLICANT:

317 LAKE SHORE LLC  
305 LAKE SHORE DR  
MONROE, NY 10950

OWNER:

317 LAKE SHORE LLC  
305 LAKE SHORE DR  
MONROE, NY 10950

SHEET TITLE:

**EROSION CONTROL PLAN**

PROJECT TITLE:

**317 LAKE SHORE DR**

LANDS OF:

317 LAKE SHORE LLC

LOCATION:

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JURISDICTION:

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DRAWN BY:

SCALE: PROJECT NO.:

FW

1"-20" 25-100

CHECKED BY:

ORIGINAL DATE SHEET:

JJ

11/24/2025

APPROVED BY:

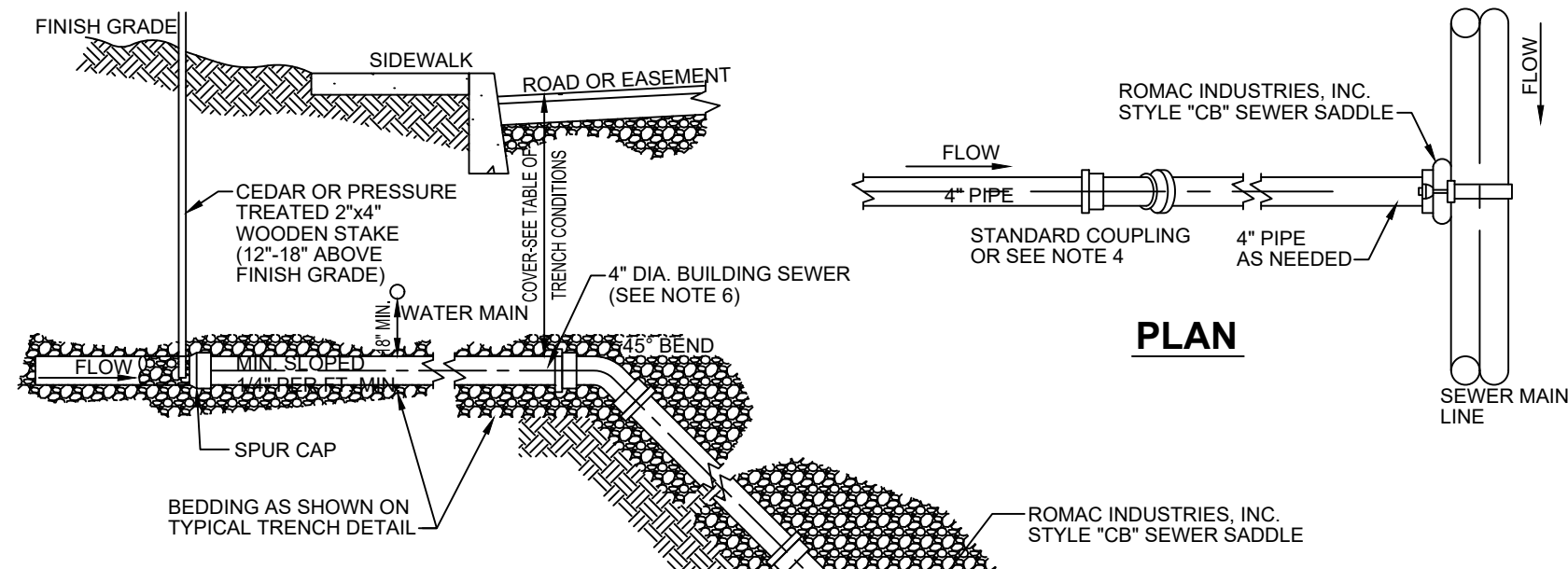
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C05  
PAGE 05 OF 07



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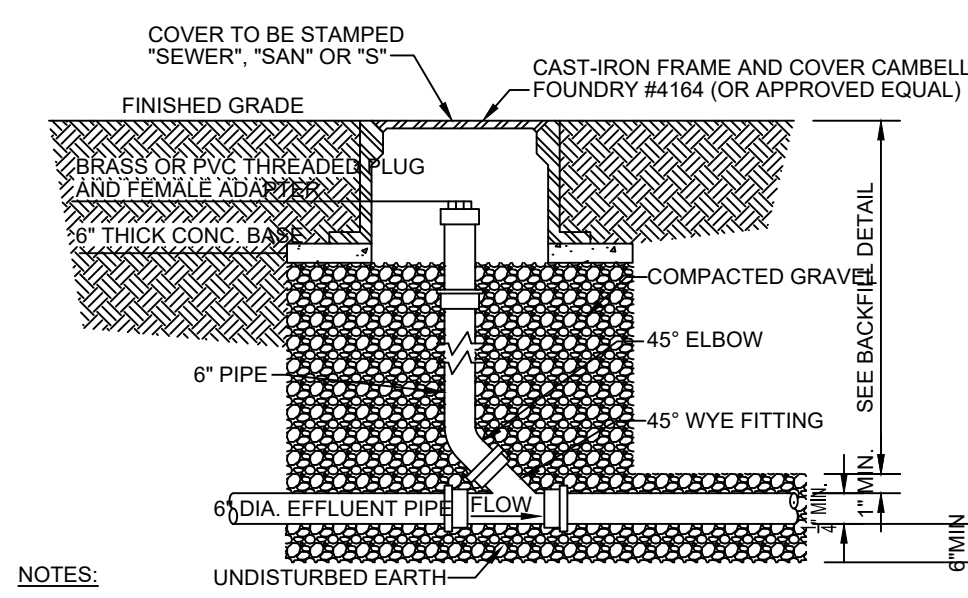
**SPECIAL CONDITIONS FOR SHALLOW TRENCH**

| COVER           | PIPE   |
|-----------------|--|
| LESS THAN 4'-0" | CLASS 52 DUCTILE IRON OR CAST IRON EXTRA HEAVY OR APPROVED EQUAL |

- ROMAC INDUSTRIES, INC. STYLE 'CB' SEWER SADDLE**
- SECTION**
- SANITARY SEWER SPECIFICATIONS (FOR BUILDING SEWERS AND SEWER MAIN LINE)
- REQUIRED MAIN LINE SEWER (OR APPROVED EQUAL):
A">
    - ABS-TRUSS PIPE
    - PIPE: STAMPED ASTM D2680
    - FITTINGS: STAMPED ASTM D2680
    - JOINTS: SOLVENT WELD ASTM D2233
  - PVC-TRUSS PIPE
A">
    - PIPE: STAMPED ASTM D2680
    - FITTINGS: STAMPED ASTM D2680
    - JOINTS: SOLVENT WELD ASTM D2564 OR ELASTOMERIC (GASKET)
  - PVC-SDR 26 HEAVY WALL PIPE
A">
    - PIPE (8'-15" DIAMETER): STAMPED ASTM 3034
    - PIPE (18" AND GREATER DIAMETER): STAMPED ASTM F679
    - FITTINGS: STAMPED ASTM 3034 OR F679
    - JOINTS: SOLVENT WELD ASTM 2564 OR ELASTOMERIC (GASKET)
  - PVC-SDR 35 SOLID WALL PIPE
A">
    - PIPE (8'-15" DIAMETER): STAMPED ASTM D3034
    - PIPE (18" OR GREATER DIAMETER): STAMPED ASTM F769
    - FITTINGS: STAMPED ASTM 3034 OR F679
    - JOINTS: BELL & SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564
  - REQUIRED BY BUILDING LATERAL SEWER (OR APPROVED EQUAL):
A">
    - PVC-SDR 33 SOLID WALL PIPE
    - PIPE: STAMPED ASTM D3034 AND SDR 35
    - FITTINGS: STAMPED SDR 35 AND ASTM 3034
    - JOINTS: BELL & SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564
  - PVC-SDR 26 HEAVY WALL PIPE
A">
    - PIPE STAMPED ASTM D3034 AND SDR 26
    - FITTINGS: STAMPED D3034 AND SDR 26
    - JOINTS: BELL & SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564
  - PVC-SDR 235 ABS SOLID WALL PIPE
A">
    - PIPE STAMPED ASTM D2751 AND SDR 23.5
    - FITTINGS: STAMPED SDR 23.5 AND ASTM D2751
    - JOINTS: SOLVENT WELD ASTM D2564
  - OTHER REQUIRED PIPE MATERIALS FOR 6" LATERAL AND SEWER MAIN LINE (OR APPROVED EQUAL):
A">
    - CAST IRON: EXTRA HEAVY COATED HUB & FLAN END, ASTM C-74 WITH ELASTOMERIC COMPRESSION GASKET (ASTM C-564)
    - DUCTILE IRON PIPE: CLASS 52, CEMENT LINED AND TAR COATED INSIDE AND OUT.

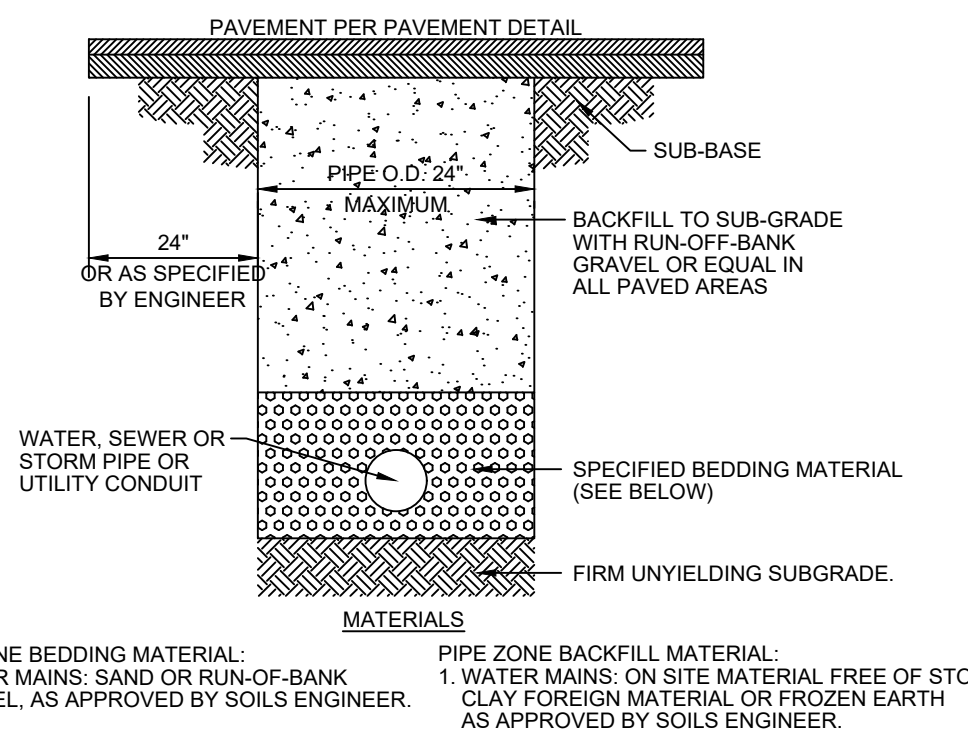
- NOTES:**
- EACH 6" BUILDING SEWER SHALL PROVIDE SERVICE FOR NO MORE THAN TWELVE (12) EQUIVALENT LIVING UNITS, AS DETERMINED BY OCSO NO. 1 UNLESS A REQUESTED DEVIATION IS APPROVED IN WRITING BY SEWER DEPARTMENT.
  - ALL APPROVED BUILDING SEWER PIPE MATERIAL FOR EACH CONNECTION MADE SHALL BE CONSTRUCTED FROM THE SAME MATERIAL.
  - MINIMUM HORIZONTAL SEPARATION BETWEEN SPUR CAP AND SIDEWALK SHALL BE 2'-0" IN ALL CASES THE SPUR CAP LOCATION SHALL EXTEND A MINIMUM HORIZONTAL DISTANCE OF 2'-0" ONTO ALL BUILDING LOT PROPERTIES.
  - TRANSITION BETWEEN DIFFERENT PIPE MATERIAL (AS APPROVED) SHALL BE MADE BY INSTALLING A TYPE 1, STYLE 62 DRESSER COUPLING OR DRESSER STYLE 262 HYMAX COUPLING (OR APPROVED EQUAL).
  - SADDLE CONNECTION SHALL BE A FITTING CONSTRUCTED SPECIFICALLY FOR THE INSTALLED MAIN LINE SEWER MATERIAL CLASS (OR APPROVED EQUAL).
  - THE BUILDING SEWER SHOWN FROM THE MAIN LINE SOURCE SADDLE CONNECTION FITTING TO THE SPUR CAP SHALL MEET THE SPECIFICATIONS SHOWN FOR 6" SEWER SERVICE LATERALS.
  - 4" BUILDING SEWER LATERAL MAY BE APPROVED FOR CONSTRUCTION OF SINGLE (1) AND TWO (2) FAMILY DWELLINGS ONLY. ALL OTHER BUILDING LATERAL SEWERS (INCLUDING COMMERCIAL) SHALL BE 6" IN DIA.

**SEWER MAIN CONNECTION DETAIL**  
NOT TO SCALE



- NOTES:**
- EACH BUILDING SEWER SHALL HAVE A CLEANOUT INSTALLED APPROXIMATELY 2' DOWNSTREAM OF THE BUILDING PIPE TO BUILDING SEWER CONNECTION. THEREAFTER, CLEANOUTS SHALL BE INSTALLED ALONG THE BUILDING SEWER APPROXIMATELY EVERY 100' (MAXIMUM). FOR THE PURPOSE OF CLEANOUT LOCATIONS, DISTANCE SHALL BE MEASURED FROM THE FIRST CLEANOUT LOCATED DOWNSTREAM OF THE HOSE PIPE TO BUILDING SEWER CONNECTION, HENCE DOWNSTREAM ALONG THE BUILDING SEWER TO THE CENTER OF THE SEWER MAIN LINE (GENERALLY LOCATED IN THE CENTER OF THE STREET).
  - A CLEANOUT LOCATED IN A ROAD, DRIVEWAY OR PARKING AREA SHALL REQUIRE A CAMPBELL FOUNDRY #4164 CAST IRON FRAME AND COVER (OR APPROVED EQUAL).

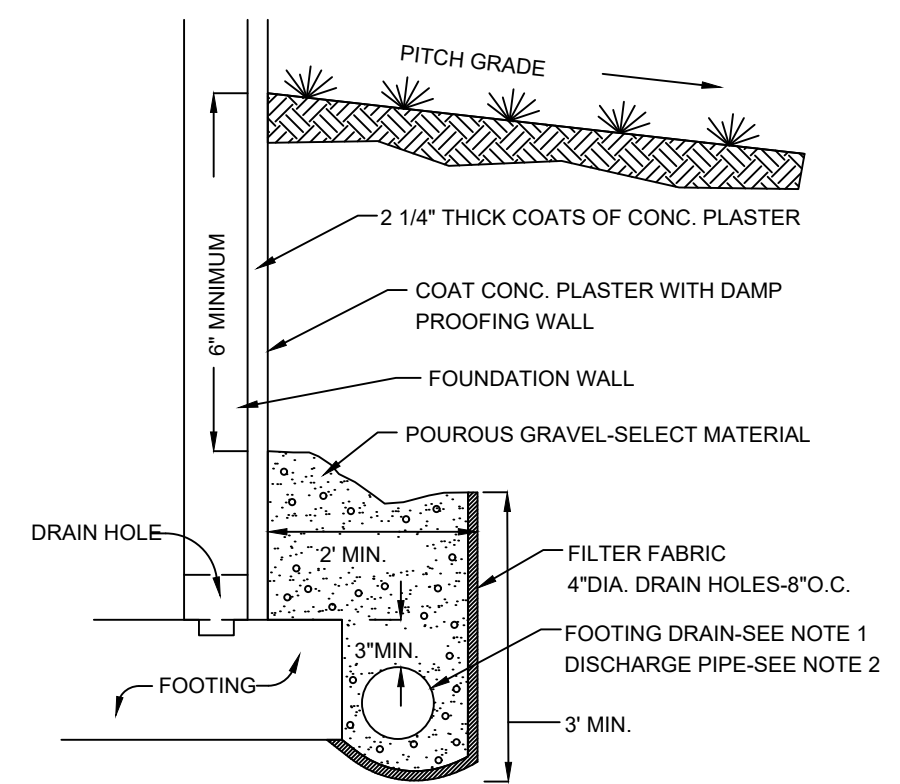
**BUILDING SEWER CLEAN-OUT DETAIL**  
NOT TO SCALE



- PIPE ZONE BEDDING MATERIAL:**
- WATER MAINS: SAND OR RUN-OF-BANK GRAVEL, AS APPROVED BY SOILS ENGINEER.
- PIPE ZONE BACKFILL MATERIAL:**
- WATER MAINS: ON SITE MATERIAL FREE OF STONE, CLAY FOREIGN MATERIAL OR FROZEN EARTH AS APPROVED BY SOILS ENGINEER.

NOT TO SCALE

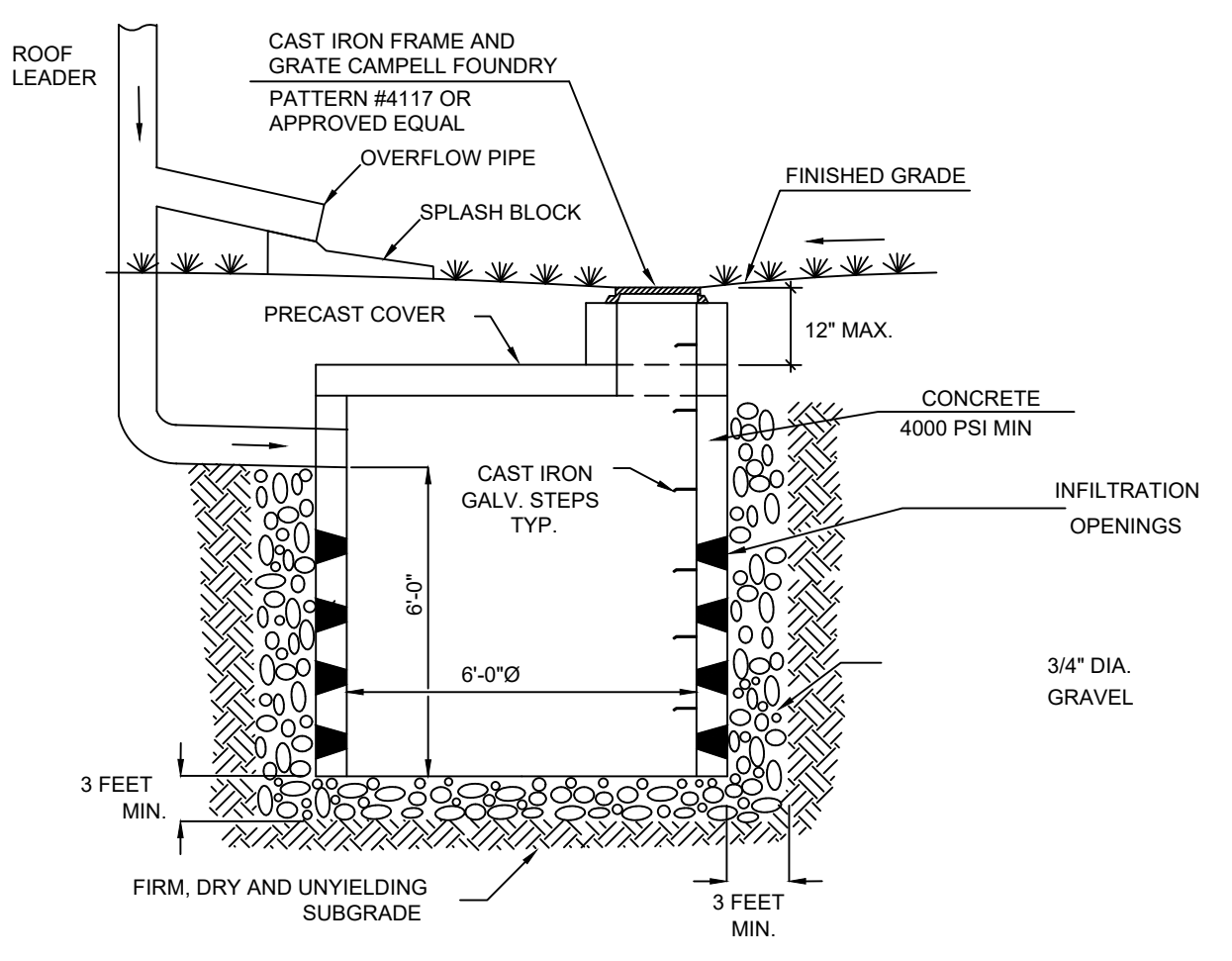
**FOOTING DRAIN DETAIL**  
NOT TO SCALE



- FOOTING DRAIN NOTES:**
- FOOTING DRAIN: MIN. SLOPE 0.5%; PERFORATED 4" DIA. P.V.C.; TOP OF PIPE NOT LESS THAN 3" BELOW TOP OF FOOTING, CONNECT TO DISCHARGE PIPE.
  - DISCHARGE PIPE: MIN. SLOPE 1.0%; 4" DIA. P.V.C. TO STORM DRAIN, CATCH BASIN OR TO GRADE (POSITIVE OUTFALL).
  - SEE ARCHITECTURAL PLANS FOR FOOTING AND FOUNDATION WALL DESIGN.

NOT TO SCALE

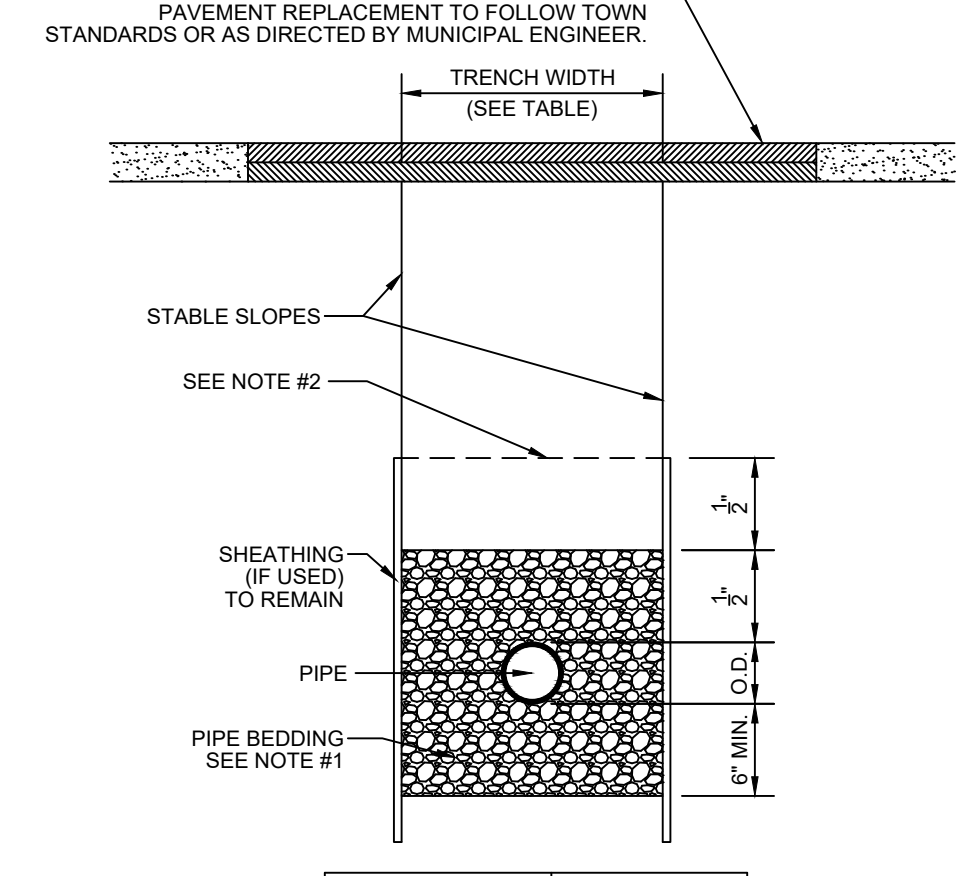
**PRECAST CONCRETE DRYWELL**  
NOT TO SCALE



USE H20 LOAD FOR PARKING AREAS

- NOTES:**
- SIDEWALKS SHALL BE CAST IN PLACE CONCRETE WITH 1" DEEP JOINTS INSTALLED AT SPACING EQUAL TO THE SIDEWALK WIDTH.
  - CELLULOSE OR EQUIVALENT EXPANSION JOINTS SHALL BE INSTALLED 20 FOOT ON CENTER. IF THE SIDEWALK IS POURED AGAINST CONCRETE CURBS, BUILDINGS OR OTHER STRUCTURES, AN EXPANSION JOINT SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF CONTACT. SIDEWALKS SHALL SLOPE AWAY FROM BUILDINGS TO PROVIDE POSITIVE DRAINAGE AND CONFORM TO THE LATEST REVISION OF A.I.I. APPLICABLE REGULATORY STANDARDS INCLUDING THE AMERICANS WITH DISABILITIES ACT.
  - MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4.12% FOR A 1" NOMINAL AGGREGATE SIZE CONCRETE TO TEST 4000 PSI AT 28 DAYS.
  - SIDEWALK SURFACE TO BE A BROOM FINISH WITH GROOVES RUNNING PERPENDICULAR TO THE LENGTH OF SIDEWALK.

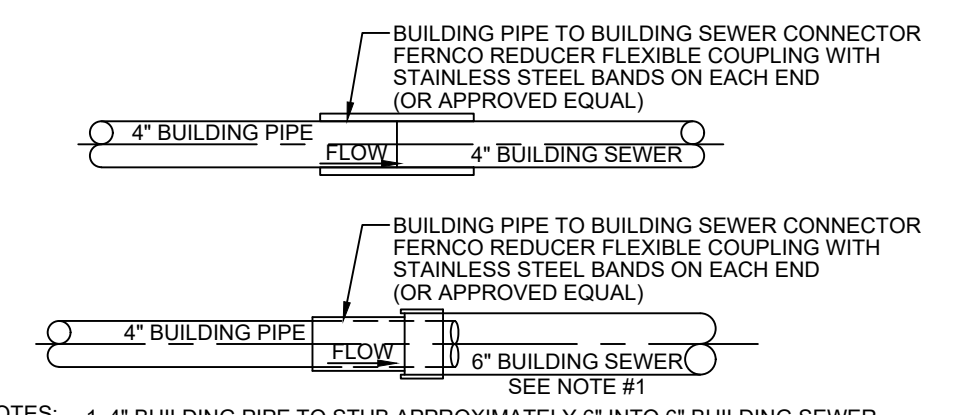
**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



| PIPE O.D.       | TRENCH WIDTH |
|-----------------|--------------|
| 24" AND SMALLER | O.D. +1'-4"  |
| 30" AND LARGER  | O.D. +2'-0"  |

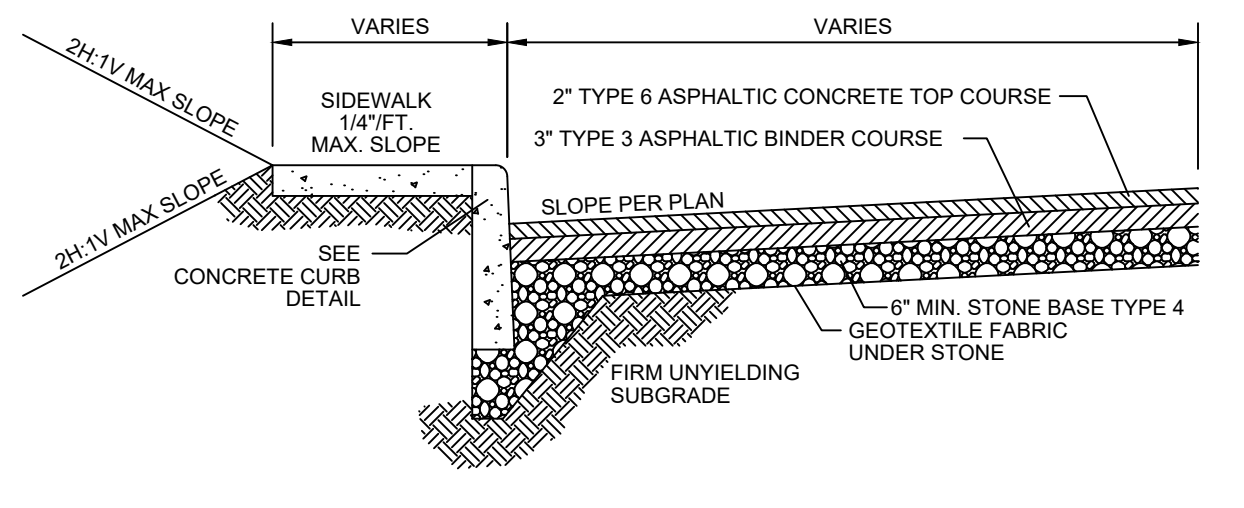
**TYPICAL TRENCH DETAIL (SANITARY SEWER)**  
NOT TO SCALE

**BUILDING PIPE TO BUILDING SEWER CONNECTION**  
NOT TO SCALE

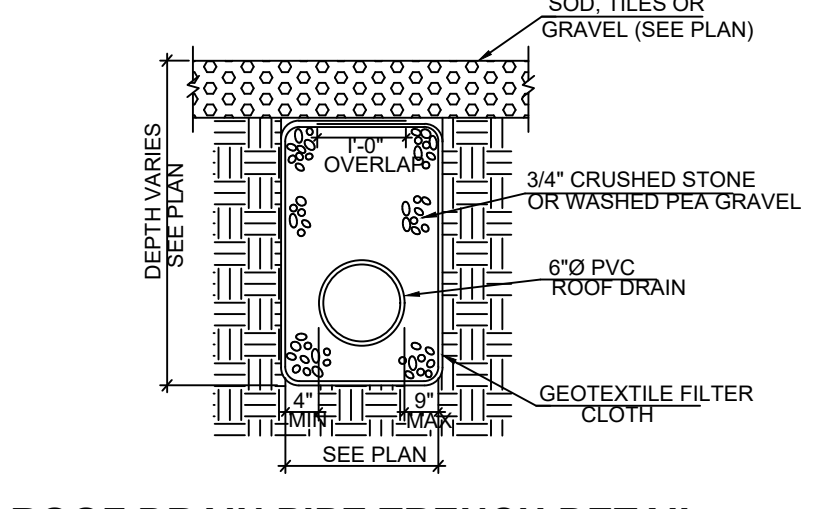


- NOTES:**
- 4" BUILDING PIPE TO STUB APPROXIMATELY 6" INTO 6" BUILDING SEWER.
  - EACH 4" BUILDING SEWER MAY BE APPROVED FOR CONSTRUCTION OF SINGLE (1) AND TWO (2) FAMILY DWELLINGS ONLY.
  - EACH 6" BUILDING SEWER SHALL BE REQUIRED FOR ALL COMMERCIAL USES AND SERVE NO MORE THAN TWELVE (12) EQUIVALENT LIVING UNITS, AS DETERMINED BY OCSO, UNLESS A REQUESTED DEVIATION IS APPROVED IN WRITING BY OCSO NO. 1.
  - BUILDING PIPE SHALL NOT EXCEED MORE THAN 10" FROM EXTERIOR OF BUILDING FOUNDATION.
  - 6" BUILDING PIPE TO 6" BUILDING SEWER SHALL BE MADE BY INSTALLING A TYPE 1, STYLE 62 DRESSER COUPLING OR DRESSER STYLE 262 HYMAX COUPLING (OR APPROVED EQUAL).

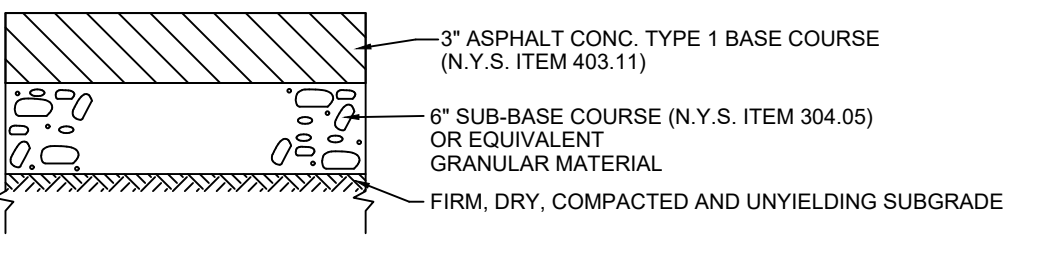
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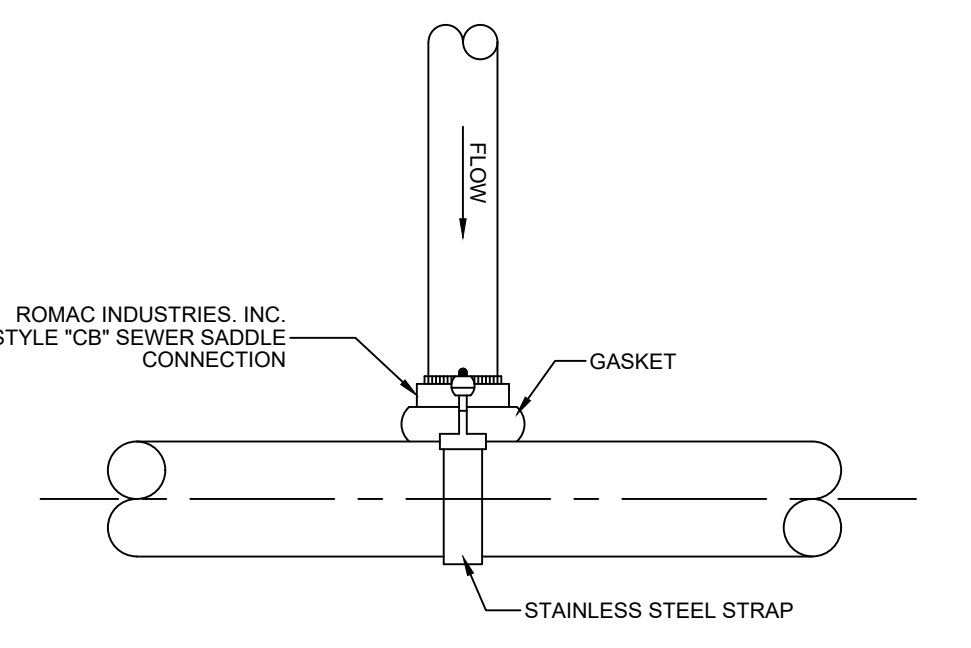
**TYPICAL PAVEMENT SECTION PARKING LOTS & DRIVEWAYS**  
NOT TO SCALE



**ROOF DRAIN PIPE TRENCH DETAIL**  
NOT TO SCALE



**ASPHALT DRIVEWAY DETAIL**  
NOT TO SCALE



- NOTES:**
- ALL APPROVED BUILDING SEWER PIPE MATERIAL FOR EACH CONNECTION MADE SHALL BE CONSTRUCTED FROM THE SAME MATERIAL.
  - SADDLE CONNECTION TO BE STYLE 'CB' SEWER SADDLE AS MANUFACTURED BY ROMAC INDUSTRIES, INC. OR APPROVED EQUAL.
  - REFER TO DETAIL SPECIFICATIONS FOR STYLE 'CB' SEWER SADDLE AS PROVIDED BY ROMAC INDUSTRIES, INC. FOR INSTALLATION GUIDELINES.
  - INSTALLATION AND MATERIALS OF THE SADDLE CONNECTION TO CONFORM WITH O.C.S.D. NO. 1 CRITERIA. THERE WILL BE NO DEVIATION FROM THE APPROVED PLAN WITHOUT WRITTEN APPROVAL FROM THE SEWER DEPARTMENT.

**SADDLE CONNECTION DETAIL**  
NOT TO SCALE

# DATE ISSUED

# DATE REVISION

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SEAL VALID FOR: 11/24/2025

SEAL DATE: NOVEMBER 24, 2023



MICHAEL J. CALISE, P.E.  
NEW YORK STATE LIC. NO. 074611

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CLIENT-APPLICANT:

317 LAKE SHORE LLC  
305 LAKE SHORE DR  
MONROE, NY 10950

OWNER:

317 LAKE SHORE LLC  
305 LAKE SHORE DR  
MONROE, NY 10950

SHEET TITLE:

**DETAILS**

PROJECT TITLE:

**317 LAKE SHORE DR**

LANDS OF:

**317 LAKE SHORE LLC**

LOCATION:

**317 LAKE SHORE DR,  
MONROE, NY 10950**

JURISDICTION:

**VILLAGE OF SOUTH BLOOMING GROVE  
TOWN OF BLOOMING GROVE  
COUNTY OF ORANGE  
STATE OF NEW YORK**

TAX LOT:

**SECTION 205 BLOCK 7 LOT 4**

LOT AREA:

**0.41±ACRES 17,850.3 SQ.FT**

DRAWN BY:

SCALE: PROJECT NO.:

FM

25-100

CHECKED BY:

ORIGINAL DATE SHEET:

JJ

11/24/2025

APPROVED BY:

LAST REVISED:

**C06**

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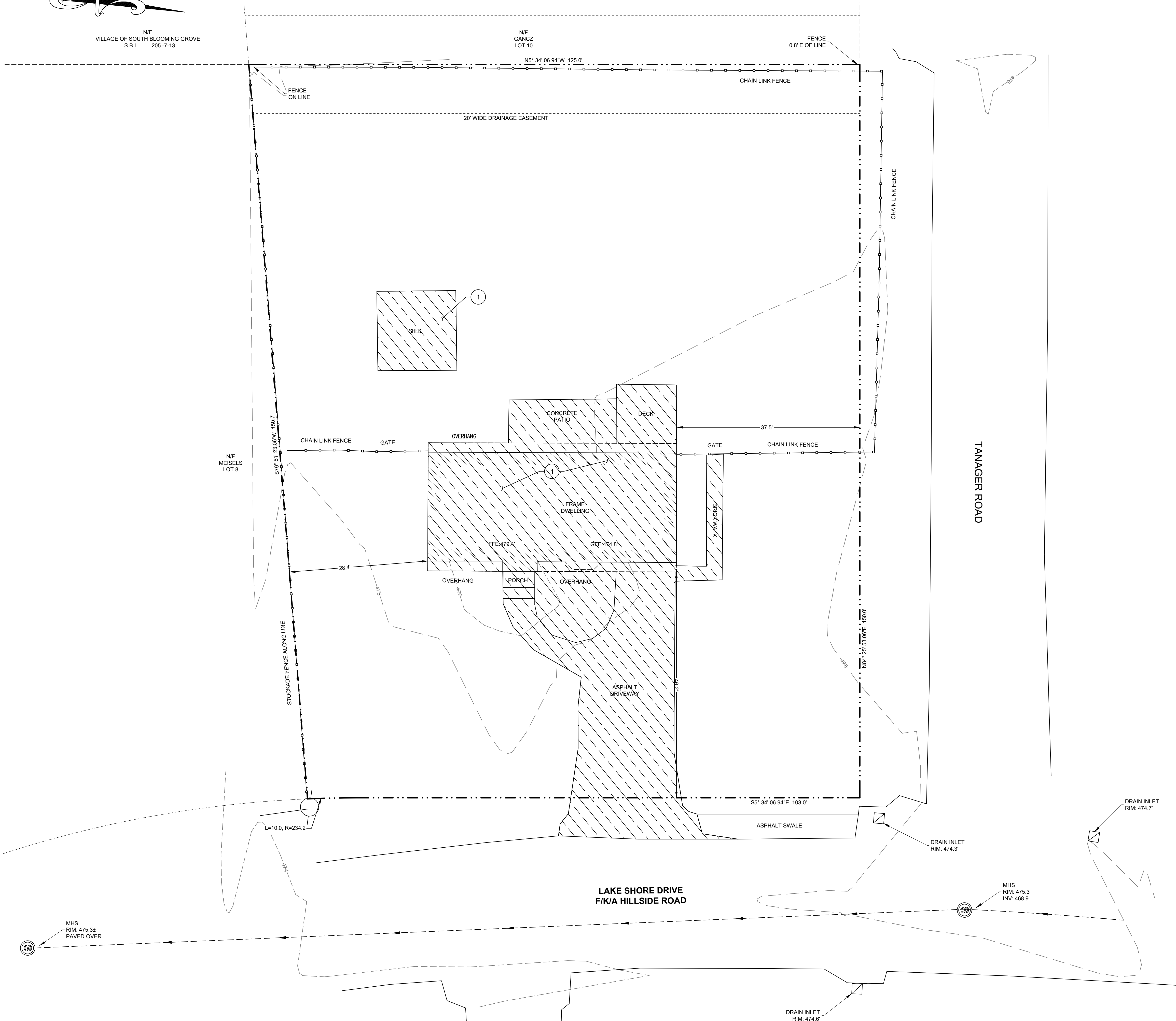


Know what's below.  
Call before you dig.



N/F  
VILLAGE OF SOUTH BLOOMING GROVE  
S.B.L. 205-7-13

N/F  
GANCZ  
LOT 10



**NOTE:**

- ① TO BE DEMOLISHED
- TO BE DEMOLISHED

**LEGEND:**

- - - - - EX. PROPERTY LINE
- - - - - EX. UTILITY POLE
- - - - - EX. WIRE OVERHEAD
- - - - - EX. CHAIN LINK FENCE
- - - - - EX. SEWER
- EX. WELL
- 000 EX. CONTOUR, MAJOR
- 000 EX. CONTOUR, MINOR

**OUTBOUND AND TOPOGRAPHIC REFERENCE:**

SURVEY PREPARED FOR 317 LAKE SHORE DRIVE VILLAGE OF SOUTH BLOOMING GROVE TOWN OF BLOOMING GROVE, COUNTY OF ORANGE, STATE OF NEW YORK TAX LOT: SECTION 205 - BLOCK 7 - LOT 4 SURVEY DATE: JULY 25, 2024

# DATE ISSUED

# DATE REVISION

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SEAL VALID FOR:  
C&J JOB# 25-100  
SEAL DATE:  
NOVEMBER 24, 2023



Michael J. Calise, P.E.  
NEW YORK STATE LIC. NO. 074611

**C&J Consulting Engineers, D.P.C.**

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DRAWN BY: SCALE: PROJECT NO.:  
FM 1"=10' 25-100

CHECKED BY: ORIGINAL DATE SHEET:  
JJ 11/24/2025

APPROVED BY: LAST REVISED: SHEET:  
MJC C07  
PAGE 07 OF 07

**EXISTING PLAN**  
SCALE - 1" = 10'

